



BOROUGH OF NORTH WALES

300 School Street, North Wales, PA 19454
Phone: 215-699-4424 Fax: 215-699-3991
<http://northwalesborough.org>

COUNCIL MEETING Tuesday, October 28, 2025 – 7:00 P.M.

Candace Anderson
Sherwin Collins
Anji Fazio
Alexander Groce
Star Little

Wendy McClure
Sally Neiderhiser
Mark Tarlecki
Sarah Whelan
Neil McDevitt, Mayor

Call to Order, Date and Time
Roll Call
Pledge of Allegiance

1. Public Comment

2. Consideration: Approval to Apply for LSA Grant: NPVFC HVAC Project

3. Consideration: Preliminary/Final Subdivision Plan Approval – 201-205 N Main St

4. Discussion: 2026 Preliminary Budget Overview

5. Consideration: Certification of Qualified Volunteers List for EIT Credit

6. Consideration: Approval of Minutes: October 14, 2025

7. Consideration: Approval of Disbursements - \$142,728.33

**8. Consideration: Approval of Certificates of Appropriateness – 113 S. Third Street,
307 E. Montgomery Avenue, 405 School Street**

9. Consideration: Approval to Advertise 9th Street Streambank Restoration Project

10. Consideration: Approve three-year Planning Assistance Contract with the Montgomery County Planning Commission

11. Old Business / Committee & Board Reports / Zoning Applications

12. Solicitor / Mayor / Council / Chief / Public Works / Manager

Adjournment

All interested parties may participate on the date and time noted above and when called upon by the Council President. The public may also submit questions or comments prior to the meeting by e-mail to info@northwalesborough.org; these must be received no later than 12 Noon on the day of the meeting. Persons with disabilities who wish to attend the meeting and require auxiliary aid, service, or other accommodation to participate in the meeting should contact North Wales Borough at 215-699-4424 or by e-mail to info@northwalesborough.org.

Mayor's Office Hours:

2nd Tuesdays 5:00 P.M. - 7:00 P.M.

Monthly Meetings Information:

HARB	3 rd Wednesday of Month
Historic Commission	4 th Thursday of Month
Human Relations Commission	3 rd Thursday of Month
Park & Recreation Board	2 nd Thursday of Month
Planning Commission	1 st Wednesday of Month
Shade Tree Commission	2 nd Thursday of Month
Zoning Hearing Board	1 st Tuesday of Month, as needed
Nor-Gwyn Pool Commission	4 th Tuesday of Month

All the above meetings begin at 7 P.M. at Borough Hall, unless noted otherwise.

North Wales Water Authority	3 rd Wednesday of Month 5:00 P.M., 200 W. Walnut Street
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Please note: The meeting is being digitally recorded.

Consideration:

Local Share Account Statewide

PROGRAM GUIDELINES
July 2025



Pennsylvania
Department of Community
& Economic Development



Commonwealth of Pennsylvania
Josh Shapiro, Governor

PA Department of Community & Economic Development
dced.pa.gov



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Section I – Statement of Purpose

The PA Race Horse Development and Gaming Act (Act 2004-71), as amended, provides for the distribution of gaming revenues through the Commonwealth Financing Authority (CFA) to support projects in the public interest within the Commonwealth of Pennsylvania.

Section II – Eligibility

A. Eligible Applicants

- **Counties**
- **Municipalities** – Any city, borough, incorporated town, township or home rule municipality
- **Municipal Authorities** – Organized under the Act of July 29, 1953 (P.L. 1034, No. 270), known as the Public Auditorium Authorities Law, or 53 Pa.C.S. Chapter 56 (relating to Municipal Authorities).
- **Economic Development Agencies**
- **Redevelopment Authorities** – Organized under Act of May 24, 1945, P.L. 991, No. 385, known as the Urban Redevelopment Law
- **Land Banks** – Organized under 68 Pa.C.S. Chapter 21 (relating to Land Banks)
- **Councils of Government** – An entity organized by units of local government under an intergovernmental agreement, which provides cooperative planning, coordination and technical assistance to its member governments on issues of mutual concern that cross jurisdictional lines, and which does not act under the direction and control of any single member government.

B. Eligible Projects

Eligible projects must be owned and maintained by an eligible applicant or a Pennsylvania nonprofit entity.

- **Projects in the Public Interest**
Projects that improve the quality of life in the community.

C. Eligible Uses of Funds

- Acquisition
- Construction to include renovation and rehabilitation
- Demolition
- Infrastructure
 - Sidewalks for public use will be considered eligible regardless of eligibility outlined in Section II. B.
- Purchase of vehicles, machinery and/or equipment
- Planning, consulting and design costs related to planning projects.
- Engineering, design and inspection, to include permitting fees, for construction projects not to exceed 10% of the total grant award. Limitation does not apply to a planning-only project.

- Administrative costs of the applicant only, which are necessary to administer the grant shall not exceed 2% of the total grant request/award. Administrative costs can include advertising and legal costs, as well as documented staff expenses.
- Contingency costs not to exceed 5% of documented construction and infrastructure costs.

D. Ineligible Project Costs

- Operations and salary costs with the exception of administrative costs of the grantee directly related to grant administration (as outlined in Section II.C).
- Consumable supplies.
- Uniforms and personal protective equipment.
- Furniture.
- Training costs.
- Consulting fees with the exception of costs for an eligible planning project.
- Warranty fees.
- Public relations and marketing costs.
- Fees for securing other financing, interest on borrowed funds, and/or refinancing of existing debt.
- Lobbying, reparations, fines, application preparation/consultant fees.
- Costs incurred prior to the approval of CFA funding.

Section III – Grant Requirements and Limitations

A. Funding

- Grants are available for projects with a total eligible project cost of \$25,000 or more.
- Grant requests shall not exceed \$1,000,000 for any project.

B. Applications and Project Scope

- Each application must include a cohesive project scope based on a singular project. This may include multiple phases of the same project.
- Applicants may submit multiple applications.

C. Project Activity Period

- Projects may not commence work prior to receiving CFA approval. Projects that begin prior to approval, including any proposed match, will result in the project being ineligible for funding consideration. Projects that may require a down payment prior to the CFA awarding funds should contact the program office to determine project eligibility.
- To be eligible for reimbursement, project costs must be incurred within the time frame established by the grant agreement.

Section IV – Program Requirements

A. Nondiscrimination

No assistance shall be awarded to an applicant under this program unless the applicant and the project user certifies to the CFA that the project user shall not discriminate against any employee or against any person seeking employment by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the Pennsylvania Human Relations Act, which prohibits discrimination on the basis of race, color, religious creed, ancestry, age, sex, national origin, handicap or disability, or in violation of any applicable federal laws. All contracts for work to be paid with grant funds must contain the commonwealth's official nondiscrimination clause.

B. Project Records

The applicant must maintain full and accurate records with respect to the project. The CFA requires access to such records as well as the ability to inspect all project work, invoices, and other relevant records at reasonable times and places.

C. Certification of Expenses

The applicant shall sign a payment request form certifying that the expenses were incurred and were in accordance with the scope of work approved by the CFA. In lieu of a formal project audit and prior to final closeout of the grant agreement, the applicant shall be required to submit copies of all canceled checks verifying the expenditure of the LSA Program proceeds. Copies of canceled checks shall include those from the grantee and sub-grantee (if applicable). Bank statements may also be submitted if electronic payment of the expenditure occurred.

D. Bidding

If the applicant is a political subdivision or other entity for which open and competitive bidding procedures have been established by law, it shall comply with those statutory bidding procedures. If not, the grantee shall comply with open and competitive bidding procedures in awarding any contracts in excess of \$10,000 for construction, reconstruction, demolition, alteration and/or repair, for acquisition of machinery and equipment, or for engagement of the services of a professional consultant, when such contracts are funded at least 50% with funds made available under this Contract. In order to comply with open and competitive bidding procedures, the grantee must obtain a minimum of three arms-length bids from contractors who are capable of performing the services requested.

E. Prevailing Wage

The Pennsylvania Prevailing Wage Act (43 P.S. § 165-1 et seq.; 34 Pa. Code § 9.101 et seq.) may be applicable to a project funded under this program. Prevailing Wage requirements are generally applicable to grants for construction, demolition, reconstruction, alteration, repair work, renovations, build-out and installation of machinery and equipment in excess of \$25,000. If applicable, the grantee is responsible for including prevailing wage rates in all bid documents, specifications, and construction contracts pertaining to the Project. The Department of Labor and Industry (L&I) has final authority to make prevailing wage applicability determinations.

F. Conflict of Interest

An officer, director, or employee of an applicant who is a party to or has a private interest in a project shall disclose the nature and extent of the interest to the governing body of the applicant, and may not vote on action of the applicant concerning the project, nor participate in the deliberations of the applicant concerning the project.

Section V – Application Procedures

1. To apply for funding, the applicant must submit the electronic on-line Department of Community & Economic Development (DCED) Single Application for Assistance located at grants.pa.gov. Required supplemental information outlined in Section VI of these guidelines must be attached electronically to the application on the Addenda tab.
2. The CFA will review applications to ensure that each proposed project meets eligibility requirements. Evaluation criteria are outlined in Section VII.
3. Applications will be received from September 1 to November 30 annually.
4. The CFA charges a \$100 non-refundable application fee for the Local Share Account applications. The application fee must be paid electronically by credit or debit card through our secure, third-party vendor. Payment of the application fee must be completed prior to the certification and submission of the Electronic Single Application. Detailed payment instructions will be provided on the Certification Tab of the Electronic Single Application once all required fields have been completed.

Note: Upon completion of the payment transaction, you will be redirected to the Electronic Single Application to complete the submission process resulting in confirmation of submission and generation of a 12-digit Application ID number. Failure to complete this process will make your application ineligible for consideration.

Section VI – Application Supplemental Items

In addition to the basic online application, the Applicant shall submit the following list of items:

Exhibit 1: Project Description

Provide a description of the project which contains all the following:

- a. A clear, concise and focused description of the proposed project to include specific project activities and expected results;
- b. The specific location of the project site;
- c. As applicable, identification of the project as a priority investment in a local or regional economic development plan or strategy;
- d. As applicable, the anticipated positive economic development and/or community impact of the project;
- e. As applicable, a detailed, color-coded map with a color legend that shows a clear illustration of the project to include street names and project boundaries (note: this is not applicable, for example, when requesting equipment or single-site renovation/rehab/construction); and
- f. Estimated start and end dates for the project costs.

Exhibit 2: Cost Estimate(s)

Provide a detailed estimate of project costs. The estimate must be dated and current (within one year of application submission). Engineering and construction estimates must be provided by a PA licensed engineer or qualified professional. Estimates of costs for specified products, materials, equipment, etc. must be in writing from a qualified vendor. Acquisition costs must be supported by an appraisal that was completed within one year of application submission.

Exhibit 3: Ownership Notice

Provide confirmation that the project will be owned and maintained by an eligible applicant or nonprofit organization.

Note: A separate document including this language is unnecessary due to the inclusion of a formal electronic acknowledgment when completing the Single Application for Assistance.

Exhibit 4: Resolution

Public sector applicants must provide a resolution duly adopted by the applicant's governing board formally requesting the grant, designating two officials to execute all documents, describing briefly the project scope, and identifying the grant amount (See Appendix I for a Sample Resolution).

Exhibit 5: Matching Funds

Match is not required for this program. If your project budget, as outlined in this application, includes other funding sources, provide copies of funding commitment letters and/or evidence of organizational fund capacity – financials, loan commitments, etc.

Section VII – Application Evaluation

The CFA will review and evaluate applications based on cost, strategic importance, and impact.

Section VIII – Procedures for Accessing Funds

1. Upon approval of an application by the CFA, a grant agreement and commitment letter will be electronically issued to the applicant explaining the terms and conditions of the grant. The grant agreement must be electronically signed and returned to the CFA within 45 days of the date of the commitment letter or the offer may be withdrawn by the CFA.
 - At the time of application, the CFA will request the name, title, and email address of two individuals authorized to execute a contract, if awarded. For public sector applicants, this information should match the officials designated within the resolution. Staff will verify the accuracy of information prior to contracting, as necessary.
2. A *fully executed* contract between the applicant and the CFA is required prior to the disbursement of grant funds.
3. Requests for payment must be submitted to the DCED Center for Community Enhancement by submitting the required payment request form accompanied by invoices, bid tabs, construction contracts or other approved documentation verifying costs incurred by the applicant. Applicants should take note that payment requests require 2-4 weeks for processing.

Section IX – Program Inquiries

Program inquiries should be directed to:

PA Department of Community and Economic Development
Center for Community Enhancement
Commonwealth Keystone Building
400 North Street, 4th Floor
Harrisburg, PA 17120-0225

Telephone: (717) 787-6245
Email: ra-dcedcbf@pa.gov

Appendix I – Authorized Official Resolution

Be it RESOLVED, that the _____ (Name of Applicant) of _____ (Name of County) hereby request a Statewide Local Share Assessment grant of \$_____ from the Commonwealth Financing Authority to be used for _____.

Be it FURTHER RESOLVED, that the Applicant does hereby designate _____ (Name and Title) and _____ (Name and Title) as the official(s) to execute all documents and agreements between the _____ (Name of Applicant) and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

I, _____, duly qualified Secretary of the _____ (Name of Applicant), _____ (Name of County) _____, PA, hereby certify that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the _____ (Governing Body) at a regular meeting held _____ (Date) and said Resolution has been recorded in the Minutes of the _____ (Applicant) and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of the _____ (Applicant), this ____ day of _____, 20__.

Name of Applicant

County

Secretary

October 16, 2025

To: Borough of North Wales Council

From: North Penn Volunteer Fire Company

Subject: Authorization to Submit Local Share Account Statewide Grant (LSA)
Application for Replacement of HVAC Systems and Natural Gas Conversion

Dear Members of Borough Council,

On behalf of the North Penn Volunteer Fire Company (NPVFC), we respectfully request that the Borough of North Wales authorize and submit an application to the Local Share Account Statewide Grant (LSA) program to support the replacement of our aging HVAC systems and transition from fuel oil to natural gas. This funding will enable us to:

Replace aging, inefficient HVAC systems that are critical to maintaining a safe and effective work environment for our volunteers and staff. Improve indoor air quality and climate control within our fire station, enhancing turnout readiness and preserving essential equipment. Achieve energy efficiency and cost savings through modern, high-efficiency heating, ventilation, and air conditioning solutions. Support the transition to natural gas to reduce operating costs, minimize emissions, and improve reliability and safety of energy supply.

This project is vital for several reasons:

- 1) **Community Safety and Readiness:** A properly heated and climate-controlled facility ensures our volunteers can train, prepare, and respond effectively to emergencies at any hour. Unreliable HVAC systems jeopardize response times and readiness, especially during extreme weather.
- 2) **Continuity of Essential Services:** The fire station serves as a hub for emergency response, training, and community outreach. Upgrading systems reduces the risk of system failures that could disrupt operations or compromise safety.
- 3) **Financial Stewardship:** Upgrading to energy-efficient HVAC and converting to natural gas can significantly reduce utility costs over time, allowing more resources to be allocated to essential firefighting services and community programs.
- 4) **Health and Safety:** Improved indoor air quality and stable climate control contribute to the health and safety of our volunteers and visitors, particularly during trainings, and community events.



North Penn Vol. Fire Company
Protecting North Wales and
Lower Gwynedd Since 1888

5) Environmental Responsibility: Transitioning to natural gas where feasible reduces emissions and aligns with broader sustainability goals for the community and the fire company.

We believe the proposed project aligns with the goals of the LSA program to support critical infrastructure improvements that enhance public safety and community well-being.

We appreciate your consideration of this request and respectfully ask for the Borough's authorization to pursue and submit the LSA grant application on behalf of NPVFC. If helpful, we are prepared to provide supplemental documentation, including project scope, cost estimates, timelines, and any required compliance materials.

Thank you for your continued support of NPVFC and the residents of North Wales.

Sincerely,



Ian Horowitz, President
North Penn Volunteer Fire Company

cc: NPVFC Board of Trustees



North Penn Vol. Fire Company
Protecting North Wales and
Lower Gwynedd Since 1888

**SENATOR
TRACY PENNYCUICK
24TH DISTRICT**

SENATE BOX 203024
ROOM 16 EAST WING
HARRISBURG, PA 17120-3024
717-787-3110
FAX: 717-787-8004

56 WEST 4TH STREET, FLOOR 2
RED HILL, PA 18076
215-541-2388
FAX: 215-541-2387
TOLL FREE: 1-855-247-9020

SenatorPennyCUICK.com
tpennyCUICK@pasen.gov



Senate of Pennsylvania

COMMITTEES

COMMUNICATIONS & TECHNOLOGY, CHAIR
VETERANS AFFAIRS & EMERGENCY
PREPAREDNESS, VICE CHAIR

AGING & YOUTH
APPROPRIATIONS

FINANCE
JUDICIARY

LAW AND JUSTICE

PA MILITARY COMMUNITY
ENHANCEMENT COMMISSION

PA NATIONAL GUARD YOUTH
CHALLENGE ADVISORY BOARD

PA BEN FRANKLIN TECHNOLOGY
DEVELOPMENT AUTHORITY

ADVISORY COUNCIL FOR THE
SOUTHEASTERN VETERANS' CENTER

I'd like to remind you of the upcoming deadlines for several important grant programs that may be beneficial for emergency services and first responders in your community. When you have a chance, please review the below information, and contact my office if you have questions.

[Fire Company and Emergency Medical Services Grant Program](#) - CLOSING SOON

Applications due October 20, 2025 - **If you have issues submitting this application, or any questions regarding changes to the FCEMS program, please contact my office as soon as possible.

This annual grant program is available for volunteer and career fire companies, emergency medical services, and rescue squads. Eligible organizations can apply for grant funding for a combination of up to two projects in the following categories:

- **Facilities:** Construction and/or renovation of the fire company's or ambulance service's facility and purchase or repair of fixtures and furnishings necessary to maintain or improve the capability of the company to provide fire, ambulance and rescue services.
- **Equipment:** Purchase or repair of firefighting, ambulance, or rescue equipment. This includes the purchase of fuel for company vehicles.
- **Debt Reduction:** Debt reduction associated with the facility or equipment categories above.
- **Training:** Training and certification of members.

- Training and Education: Materials regarding fire prevention for the general public.
- Career Departments Only: Overtime costs associated with backfilling positions while firefighters are attending training.
- Recruitment and Retention: Including, but not limited to, volunteer firefighter length of service award programs and programs for minors.
- Construction Savings Account: For fire companies only. Apply for a grant for the purpose of constructing a new facility. The grant funds shall be deposited into a construction savings account. The account will be administered by the commissioner. A fire company may only apply for a grant for up to five years. This project cannot be amended.

Firehouse Subs Foundation

Applications open October 9, 2025

Firehouse Subs Public Safety Foundation was founded in 2005 in the aftermath of Hurricane Katrina. Firehouse Subs founders, Chris Sorensen and Robin Sorensen, traveled to Mississippi where they fed first responders as well as survivors. As they traveled back to Florida exhausted and exhilarated, they knew we could do more and the Firehouse Subs Public Safety Foundation was born. *IMPORTANT: A maximum of 600 grant applications will be accepted on a quarterly basis. Once the maximum number of applications is met, the site will close for the remainder of the quarter. Please apply early in order to secure your request.*

Local Share Account Statewide

Applications due November 30, 2025

*****Please request a letter of support from my office if you decide to apply***

The PA Race Horse Development and Gaming Act (Act 2004-71) provides for the distribution of gaming revenues through the Commonwealth Financing Authority (CFA) to support projects in the public interest within the Commonwealth of Pennsylvania. Eligible uses of funding include projects in the public interest. Projects that improve the quality of life of citizens in the community.

Awarded projects must be owned and maintained by an eligible applicant or a nonprofit organization. **Nonprofit organizations (such as fire companies and EMS agencies)** are

not eligible to apply on their own but can partner with an eligible applicant including their municipality or county redevelopment authority. Grants range from \$25,000 to \$1,000,000, with no matching requirement.

[Erie Insurance Giving Network](#)

Applications due October 31, 2025

Through the Erie Insurance Giving Network, we volunteer our time and give annually to organizations that support our three areas of focus—community building, safety and environmental responsibility.

Additional resources you may be interested in:

[Assistance to Fire Fighters Grant Videos](#)- The primary goal of the Assistance to Firefighters Grant (AFG) is to meet the firefighting and emergency response needs of fire departments and non-affiliated emergency medical service organizations. Since 2001, AFG has helped firefighters and other first responders obtain critically needed equipment, protective gear, emergency vehicles, training and other resources necessary for protecting the public and emergency personnel from fire and related hazards.

[Bureau of Justice Assistance Medal of Valor](#)- Every day, public safety officers risk their lives to protect America's citizens and communities. To honor that commitment, Congress passed The Public Safety Officer Medal of Valor Act of 2001, which created the Public Safety Officer Medal of Valor, one of the nation's highest awards for valor by a public safety officer. The medal is awarded annually by the President of the United States to public safety officers who have exhibited exceptional courage, regardless of personal safety, in the attempt to save or protect human life. --- *A "public safety officer" is a person (living or deceased) who is serving or has served in a public agency, with or without compensation, as a firefighter; law enforcement officer, including a corrections, court, or civil defense officer; or emergency services officer, as determined by the U.S. Attorney General. An act of valor is considered to be above and beyond the call of duty; and exhibiting exceptional courage, extraordinary decisiveness and presence of mind along with unusual swiftness of action, regardless of his or her personal safety, in an attempt to save or protect human life.*

Thank you for taking the time to review this information. As I mentioned above, you are welcome to reach out to my office if you have any questions, comments or concerns relating to these or other grant programs.

Sincerely,



Tracy Pennycuick, MPA
State Senator, 24th District
Berks and Montgomery Counties



Senate Box 203024, 16 East Wing, Harrisburg, PA 17120

(717) 787-3110

56 West 4th Street, Floor 2, Red Hill, PA 18076

(215) 541-2388

senatorpennycuick.com





North Wales Borough
 300 School Street
 North Wales, PA 19454
 Phone: 215-699-4424
 Fax: 215-699-3991
www.northwalesborough.org

SUBDIVISION & LAND DEVELOPMENT APPLICATION

Please complete all of the following sections below. All sections must be complete with the required information. If the required information is not provided, the Borough may reject the application. Please attach any addendums or supportive documents to this application. Twenty (20) complete paper sets of the project plans and one (1) electronic copy of the complete set of plans in a PDF format must be submitted. Please note that any false statement or misrepresentation of fact contained within this application is a criminal offence and subject to penalty.

Type of Plan (select one):

Sketch Plan Preliminary Plan Preliminary/Final Plan Final Plan

Project Type (select one):

Minor Subdivision Major Subdivision Minor Land Development Major Land Development

APPLICANT INFORMATION		
Name: Donna Mengel		
Address (inc. City/State/Zip): 114 North Main Street, North Wales, PA 19454		
Phone: 267-210-5600	Fax:	Email: mengel@lambpa.com
MAIN CONTACT PERSON*		
Name: John Koutsouros, P.E.		
Address (inc. City/State/Zip): 949 Easton Road, Warrington PA, 18976		
Phone: 215-343-5700	Fax:	Email: jkoutsouros@carrollengineering.com
AGENT OR ATTORNEY (if any)		
Name: N/A		
Address (inc. City/State/Zip):		
Phone:	Fax:	Email:
REGISTERED ENGINEER OR SURVEYOR		
Name: John Koutsouros, P.E.		
Address (inc. City/State/Zip): 949 Easton Road, Warrington PA, 18976		
Phone: 215-343-5700	Fax:	Email: jkoutsouros@carrollengineering.com

*Contact person should be permitted to make decisions pertaining to processing of application.

OWNER OF RECORD OF LAND		
Name: Donna Mengel		
Address (inc. City/State/Zip): 114 North Main Street, North Wales, PA 19454		
Phone: 267-210-5600	Fax:	Email: mengel@lambpa.com
PROPERTY INFORMATION		
Location (inc. City/State/Zip): 201 & 205 N Main Street, North Wales, PA 19454		
Tax Parcel # 14-00-01444-00-9 & 14-00-01448-00-5	Block/Unit# Block 7 Unit 3 & 4	
TOTAL AREA TO BE DEVELOPED OR SUBDIVIDED		
Gross: 17,682.4 SF	Acres to be disturbed: 10,707 SF	Sq ft of building area (calculated to center of street): 1,236 SF
Net (area calculated to the legal right-of-way-net areas are to be used for density and land area requirements): 17,682.4 SF	Project located within a stream/flood plane?: <input type="checkbox"/> yes / <input checked="" type="checkbox"/> no	
	PADEP permits required?: <input checked="" type="checkbox"/> yes / <input type="checkbox"/> no	
Density (dwelling units/acre): 14.18	Zoning District: CBD - COMMERCIAL BUSINESS	Water supply - currently available to property?: YES
Sewage system – EDU's required: 2	Linear feet of new street to be dedicated: N/A	

Are waivers or modifications requested at this time from the Subdivision and Development of Land Ordinance (select): yes / no If yes, please attach to this application a written explanation for all waivers or modifications requests.

Please attach copies of all zoning variances or special exceptions that apply to the property or use involved with this application.

LEGAL FEE AGREEMENT

I acknowledge that as owner/developer I will be responsible for any engineering and/or legal fees incurred when plans are reviewed by the Borough of North Wales Engineer, Borough of North Wales Solicitor, Borough of North Wales Planning Commission, Borough Council or any other body as may be required by law in accordance with the schedule of fees by the Engineer and/or Solicitor.

Any such fees not paid within two (2) months from the billing date on the Borough cover letter will carry an interest rate of one and one-half percent (1.5%), per month.

AUTHORIZATION

By signing this application, authorization is granted to any municipal representative of North Wales Borough to access the above property as stated within this application at any time, without an administrative warrant, to inspect and verify the location of any proposed use and/or structure contained within this application.

Furthermore, I agree as the applicant(s) representing the property owner(s) for the submission of this subdivision or land development plan being duly sworn according to law states that the North Wales Borough Zoning Ordinance, Subdivision and Development of Land Ordinance and above Legal Fee Agreement were read, and the facts set forth in said application and supportive documents are true and correct to the best of my knowledge, information, and belief.

NOTE: *The person signing this agreement will be the individual directly accountable for payments of the subject fees. Accordingly, if it is desired to assign this responsibility to another party or firm, said party or the appropriate officer of said firm must execute this document.*

Print Name of Applicant(s): Donna Mengel

Signature of Applicant(s): 

Date: 7/1/25

Print Name of Owner(s): Same as Applicant

Signature of Owner(s): _____

Date: _____

FOR BOROUGH USE ONLY

Fees:

Application Fee:	\$	Per EDU/Acre Fee:	\$
Escrow Fee:	\$	Check:	#

Review Distribution List:

<input type="checkbox"/>	Borough Engineer	<input type="checkbox"/>	Chief of Police
<input type="checkbox"/>	Borough Manager	<input type="checkbox"/>	Montgomery County Planning Commission
<input type="checkbox"/>	Zoning Officer	<input type="checkbox"/>	Emergency Management Coordinator

**BEFORE THE ZONING HEARING BOARD OF
NORTH WALES BOROUGH**

**IN THE MATTER OF:
DONNA MENGEL
APPLICATION #25-01**

DECISION AND ORDER

FINDINGS OF FACT

1. On or about March 6, 2025, Donna Mengel, 114 North Main Street, North Wales, PA 19454 (the “Applicant”), filed an application (“Application”) to the North Wales Zoning Hearing Board (the “Zoning Hearing Board”) for properties located at 201 North Main Street, North Wales PA, 19454 and 205 North Main Street, North Wales, PA 19454. See Exhibit Z-1.

2. The properties that are the subject of the Application are located at 201 and 205 North Main Street., North Wales 19454, and are further identified as Tax Parcel #s 14-00-01444-00-9 and 14-00-01448-00-5 (the “Properties”). The Property identified as 201 N. Main Street is also referred to as 201 & 203 N. Main Street.

3. The Properties are located in the CBD Commercial Business District of the Borough.

4. The Applicant is proposing a subdivision of the Properties to create a new lot and requesting a variance from Section 208-38 of the North Wales Borough Zoning Ordinance (“Ordinance”) to construct a two-family detached dwelling (duplex), Use B-4, on the newly created lot.

5. The Applicant is the owner of the Properties, therefore, the Applicant has standing to appear before the Zoning Hearing Board.

6. A duly advertised hearing on the Application was held before the Zoning Hearing Board on May 6, 2025 (the “Hearing”).

7. The Applicant was not represented by counsel at the Hearing.

8. The following were marked as exhibits at the Hearing:

- Z-1: Zoning Hearing Board Application;
- Z-2: Deed for 201 North Main Street;
- Z-3: Deed for 205 North Main Street;
- Z-4: Carroll Engineering Corporation Plan for 201-205 North Main Street, dated February 5, 2025 (1 page) (“Plan”);
- Z-5: March 11, 2025 Waiver Letter;
- Z-6: April 2, 2025 Planning Commission Memorandum
- Z-7: Certification of Posting of Property;

- Z-8: Certification of Mailing Notice; and
- Z-9: Proof of Publication.

9. John Koutsouros, P.E., from Carroll Engineering Corporation (“Engineer Koutsouros”) testified on behalf of the Application.

10. Zoning Officer Alex Turock, was sworn in at the Hearing.

11. The Properties have the current following uses:

201 N. Main Street: B-4, two-family semi-detached dwelling (duplex);
205 North Main Street: B-3 single-family semi-attached dwelling.

12. The Applicant is proposing a subdivision of the Properties to create a new lot and construct a two-family detached dwelling (duplex), Use B-4 on the new lot. See Exhibit Z-4.

13. The proposed duplex will front School Street and will look like the other houses in the residential neighborhood.

14. The Applicant is requesting relief since the Properties were rezoned in 2023 from R-2 to CBD Commercial Business District and a Use B-4 is not permitted in the CBD District.

15. The proposed use on the new lot is a residential use as are the existing uses on the Properties.

16. As set forth on the Plan, all three (3) parcels will be conforming as to the required dimensional zoning requirements.

17. As noted on the Plan, the existing parking includes all the stalls shared between 201-203 N. Main Street and 205 N. Main Street. The proposed parking includes all the stalls shared between 201-203 N. Main Street, 205 N. Main Street, and the proposed lot. The total number of parking spaces is 11 which exceeds the required 10 parking spaces.

18. Zoning Officer Turock testified that there is one shared access for all three lots and a cross access easement will be required.

19. Zoning Officer Turock explained the subdivision and land development procedure.

20. The Planning Commission voted to recommend a residential use variance for the newly created lot. See Exhibit Z-6.

21. Kimberly Little, 118 School Street, North Wales, asked about the alley and Engineer Koutsouros testified that the alley will remain.

22. Another neighbor complained about cigarette butts.

23. The Zoning Hearing Boards finds that the requested relief is appropriate and reasonable for the Property as the requested relief is in keeping with the residential character of the neighborhood.

24. The Zoning Hearing Board finds that the requested relief is the minimum to afford relief and will not adversely affect the residential neighborhood and will not adversely affect the public health, safety and welfare.

25. The Zoning Hearing Board finds that the Applicant has met the requirements for entitlement to the requested variance.

DISCUSSION

The Applicant is requesting a variance from Section 208-38 of the Ordinance to construct a two-family detached dwelling (duplex), Use B-4, on the newly created lot.

A Use B-4 is defined in the Ordinance as follows:

Use B-4: Two-family detached dwelling (duplex). A building having two separate dwelling units, one over the other or side-by-side. Both dwelling units are located on a single parcel and are under common ownership. The following additional standards shall be satisfied:

- (a) The duplex must be located entirely on one lot, with front, rear, and two side yards of the required depth for the district in which it is located.
- (b) Separate ingress and egress must be provided to each unit.

Section 208-111, Powers and duties, of the Zoning Ordinance, states in relevant part as follows:

C. Variances.

(1) The Board shall hear requests for variances where it is alleged that the provisions of this chapter inflict unnecessary hardship upon the applicant. The Board may, by rule, prescribe the form of application and may require preliminary application to the Zoning Officer. The Board may grant a variance, provided that all of the following findings are made where relevant in a given case:

- (a) That there are unique physical circumstances or conditions, including irregularity, narrowness or shallowness

of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the unnecessary hardship is due to such conditions and not the circumstances or conditions generally created by the provisions of this chapter in the neighborhood or district in which the property is located.

(b) That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the provisions of this chapter and that the authorization of a variance is therefore necessary to enable the reasonable use of the property.

(c) That such unnecessary hardship has not been created by the appellant.

(d) That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located, nor substantially or permanently impair the appropriate use or development of adjacent property, nor be detrimental to the public welfare.

(e) That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

(2) In granting any variance, the Board may attach such reasonable conditions and safeguards as it may deem necessary to implement the purposes of the Pennsylvania Municipalities Planning Code and this chapter.

Through the presentation of testimony and exhibits, the Applicant demonstrated entitlement to the requested variance from Section 208-38 of the Ordinance to construct a two-family detached dwelling (duplex), Use B-4, on the newly created lot.

CONCLUSIONS OF LAW

Subject to the conditions set forth in the Order below, the Applicant met her burden necessary for the requested relief to allow a Use B-4 on the newly created lot.

ORDER

AND NOW, this 19th day of June 2025, the Application of Donna Mengel, being Application #25-01, requesting a variance from Section 208-38 of the Zoning Ordinance to construct a two-family detached dwelling (duplex) on a newly created lot is hereby **GRANTED** subject to the following conditions, which were agreed to by the Applicant, and which shall inure to the Applicant, her heirs, successors and assigns:

1. The Applicant shall proceed in substantial conformance with the testimony and exhibits presented at the Hearing.
2. In all other respects, the Applicant shall comply with all provisions of the statutes, laws, regulations, rules, codes and ordinances of the United States, Commonwealth of Pennsylvania, Montgomery County, North Wales Borough and any other municipal entity having jurisdiction over this matter which shall include obtaining all proper inspections and permits for the Garage to be used as a residential unit.

ZONING HEARING BOARD OF
NORTH WALES BOROUGH

/s/ Andrew Berenson
Andrew Berenson, Chairperson

/s/ Charles Blackledge
Charles Blackledge, Vice Chairperson

/s/ Nicholas Pollidore
Nicholas Pollidore

/s/ Joel Roberts
Joel Roberts


/s/ Colin Beatty
Colin Beatty

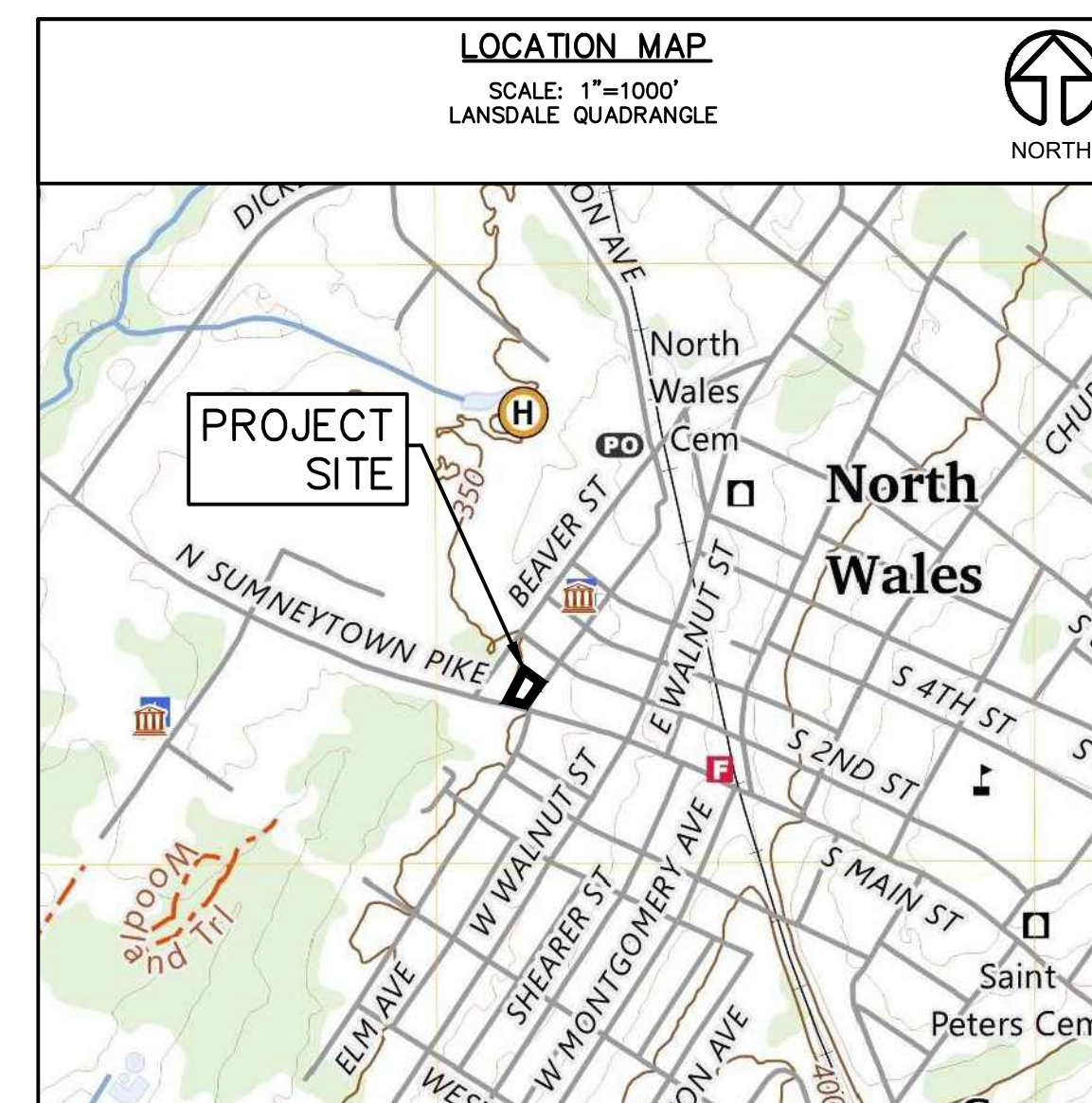
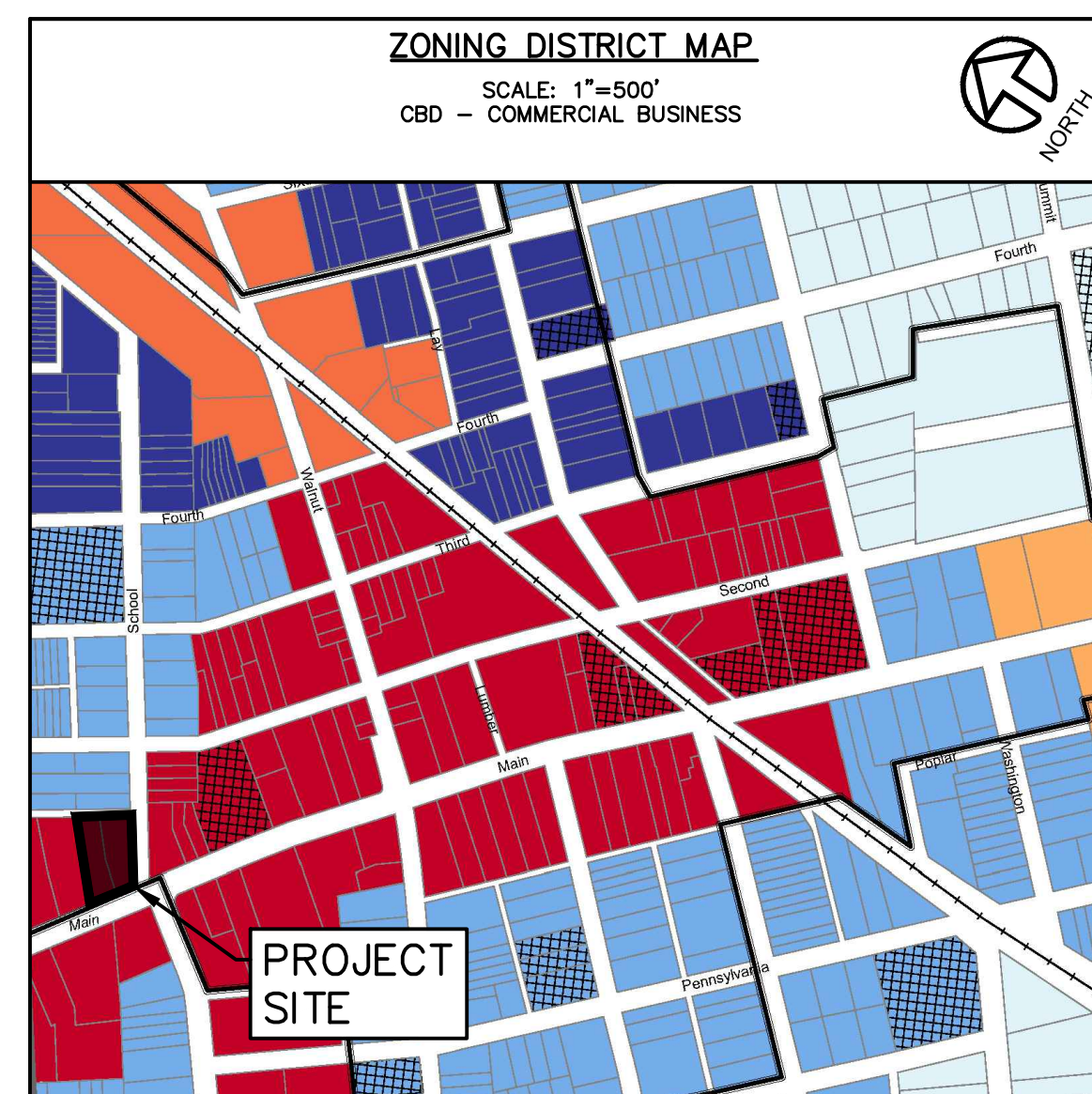
Written decision emailed: June 19, 2025
Written decision mailed: June 20, 2025

FINAL MINOR SUBDIVISION PLANS FOR 201-205 N. MAIN STREET

SITUATED IN:
NORTH WALES BOROUGH
MONTGOMERY COUNTY, PENNSYLVANIA

PREPARED FOR:
DONNA MENGEL
114 N. MAIN STREET
NORTH WALES, PA 19454

ACT 287 UNDERGROUND USERS LIST	
DESIGN ONE CALL SERIAL NO(s): 20251832646	
COMCAST 1004 CORNERSTONE BLVD DOWNTOWN, PA. 19335 JOHN CEDRICK SALVATERRA JOHN.CEDRICK_SALVATERRA@COMCAST.COM 267-271-9781	NORTH WALES BOROUGH 300 SCHOOL ST NORTH WALES, PA. 19454 ALEX TUROCK ATUROCK@NORTHWALESBOROUGH.ORG 215-699-4424EXT. 115
PECO AN EXELON COMPANY C/O USIC 450 S HENDERSON ROAD SUITE B KING OF PRUSSIA, PA. 19406 NIKKIA SIMPKINS NIKKIASIMPKINS@USICLLC.COM 484-681-5720	VERIZON BUSINESS FORMERLY MCI 7000 WESTON PKWY CARY, NC. 27513 VICTOR WOOD VICTOR.S.WOOD@VERIZON.COM 919-414-2782
NORTH WALES WATER AUTHORITY 200 W WALNUT ST PO BOX 1339 NORTH WALES, PA. 19454 JOSEPH MURPHY JMURPHY@NWATER.COM 215-699-4836EXT. 1115	
 PA ONE CALL SYSTEM 1-800-242-1776	
<small>LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND OBSERVATIONS AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION CANNOT BE GUARANTEED. ALL CONTRACTORS AND OTHER PERSONS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 287, AS AMENDED, TITLED "EXCAVATION AND DEMOLITION WORK PROTECTION OF UNDERGROUND UTILITIES." EACH INDIVIDUAL USING THIS PLAN MUST VERIFY THE DEPTH AND LOCATION OF ALL UNDERGROUND FACILITIES BEFORE STARTING WORK.</small>	



SHEET LIST TABLE		
SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE
1	G-100	COVER SHEET
2	C-101	RECORD & SUBDIVISION PLAN
3	V-101	EXISTING FEATURES & DEMOLITION PLAN
4	C-102	GRADING PLAN
5	C-103	STORMWATER MANAGEMENT & UTILITY PLAN
6	CJ-101	EROSION & SEDIMENTATION CONTROL PLAN
7	CJ-501	EROSION & SEDIMENTATION CONTROL NOTES
8	CJ-502	EROSION & SEDIMENTATION CONTROL DETAILS
9	LL-101	LANDSCAPE PLAN
10	C-501	CONSTRUCTION DETAILS (1)
11	C-502	CONSTRUCTION DETAILS (2)

PREPARED BY:
Carroll Engineering Corporation



949 Easton Road
Warrington, PA 18976
Phone: 215-343-5700
Fax: 215-343-0875

630 Freedom Business Center, Third Floor
King of Prussia, PA 19406
Phone: 610-489-5100
Fax: 610-489-2674

105 Raider Boulevard, Suite 206
Hillsborough, NJ 08844
Phone: 908-874-7500
Fax: 908-874-5762

101 Lindenwood Drive, Suite 225
Malvern, PA 19355
Phone: 484-875-3075
Fax: 484-875-3178

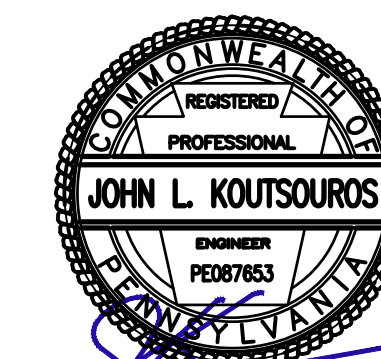
102 Larry Holmes Drive, Suite 201
Easton, PA 18042
Phone: 610-989-4940

www.carrollengineering.com

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OWNER OF RECORD
201 N. MAIN STREET
PARID: 14-00-01444-00-9
NORTH WALES WATER AUTHORITY
DONNA MENGEL
114 N. MAIN STREET
NORTH WALES, PA 19454

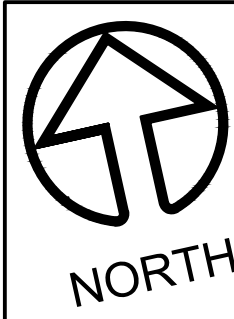
205 N. MAIN STREET
PARID: 14-00-01448-00-5
NORTH WALES WATER AUTHORITY
DONNA MENGEL
114 N. MAIN STREET
NORTH WALES, PA 19454



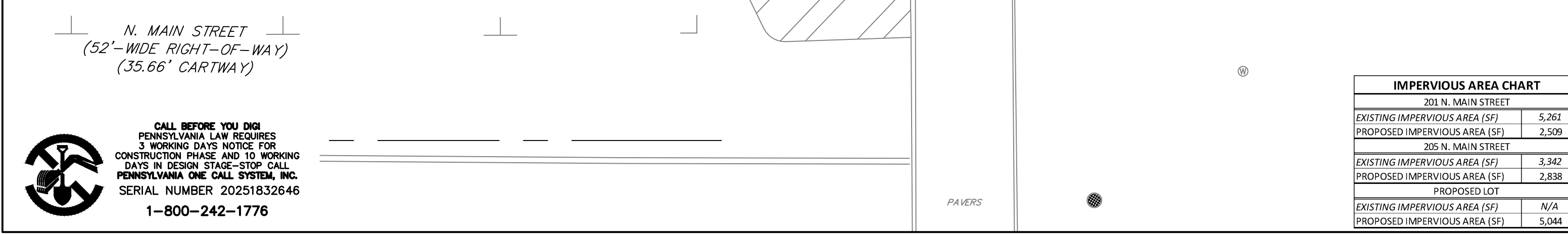
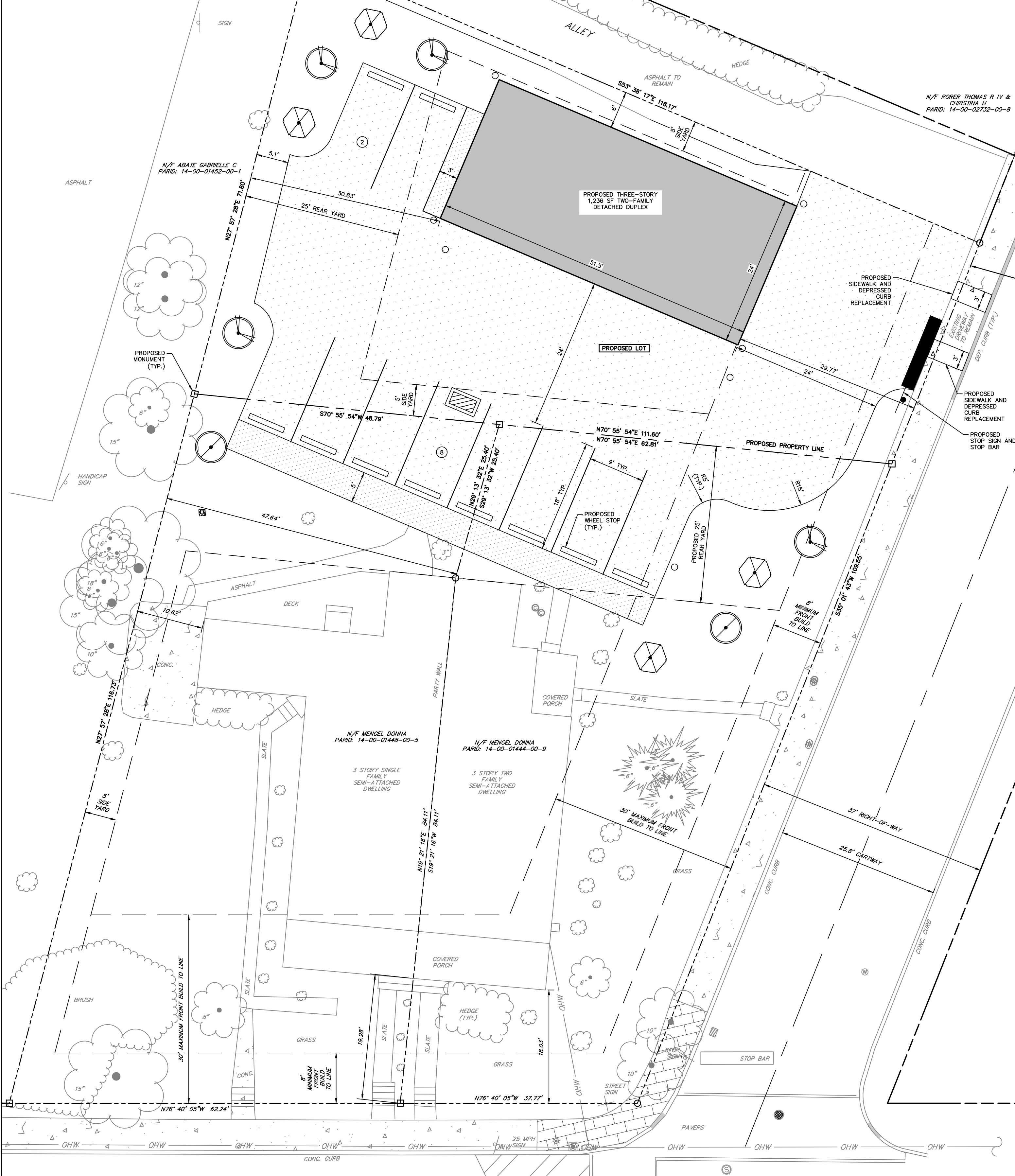
1-COVER SHEET
DRAWING NUMBER-G-100
PLAN DATE: 7/18/2024

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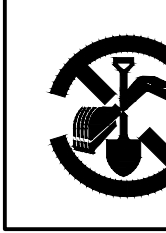


NORTH

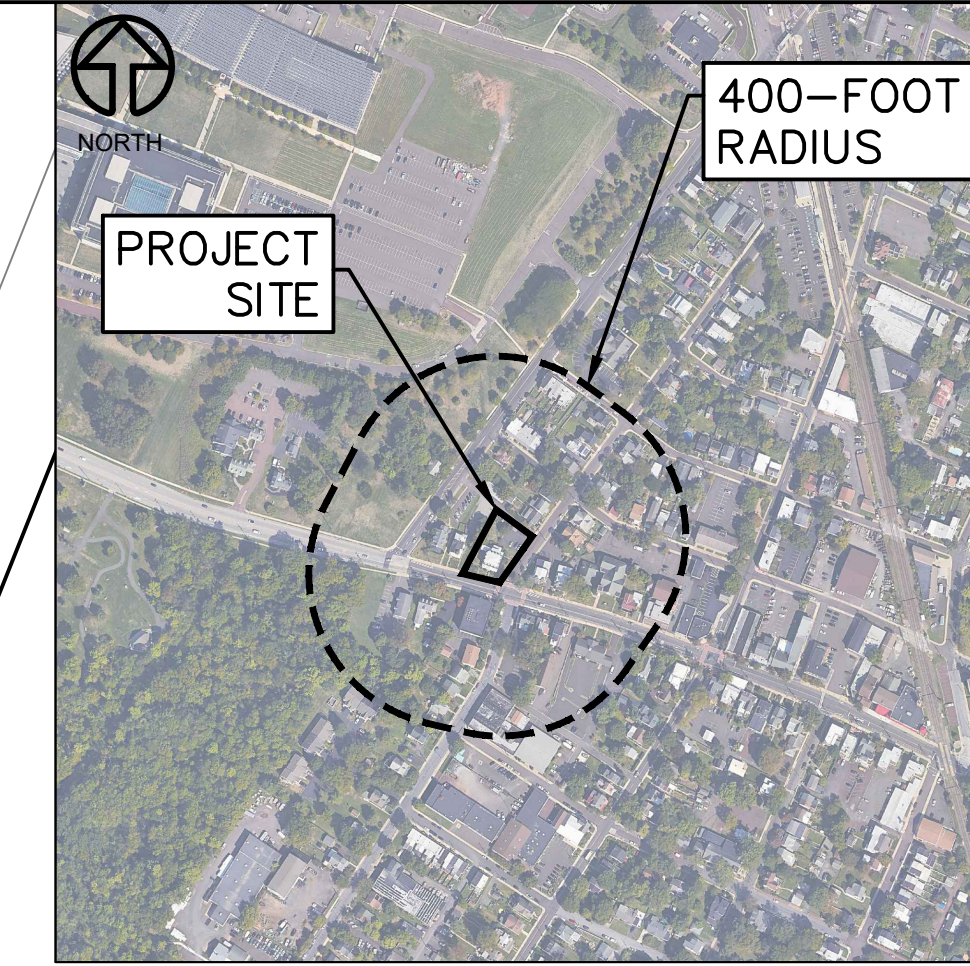


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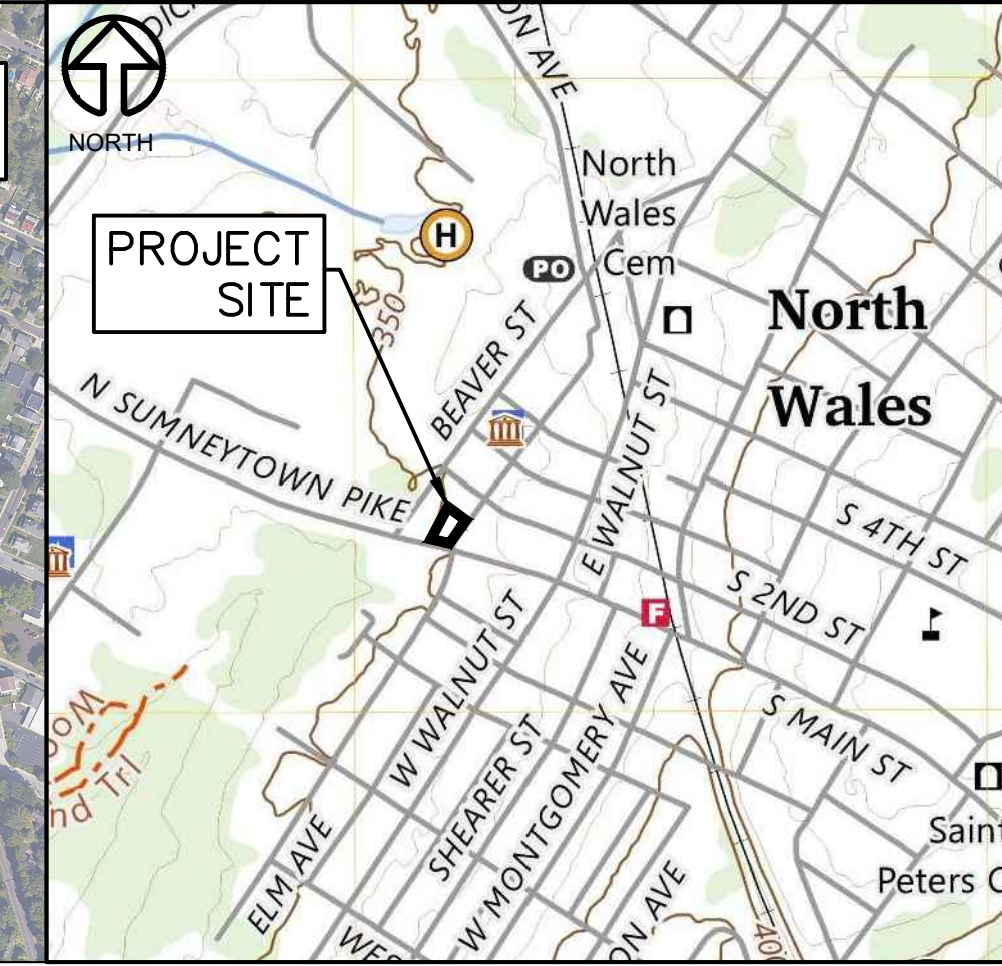
CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND TO WORKING
DAYS IN DESIGN STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
SERIAL NUMBER 20251832646
1-800-242-1776



IMPERVIOUS AREA CHART	
201 N. MAIN STREET	
EXISTING IMPERVIOUS AREA (SF)	5,161
PROPOSED IMPERVIOUS AREA (SF)	2,509
205 N. MAIN STREET	
EXISTING IMPERVIOUS AREA (SF)	3,342
PROPOSED IMPERVIOUS AREA (SF)	2,838
PROPOSED LOT	
EXISTING IMPERVIOUS AREA (SF)	N/A
PROPOSED IMPERVIOUS AREA (SF)	5,044



400'-FOOT RADIUS MAP
1" = 500'

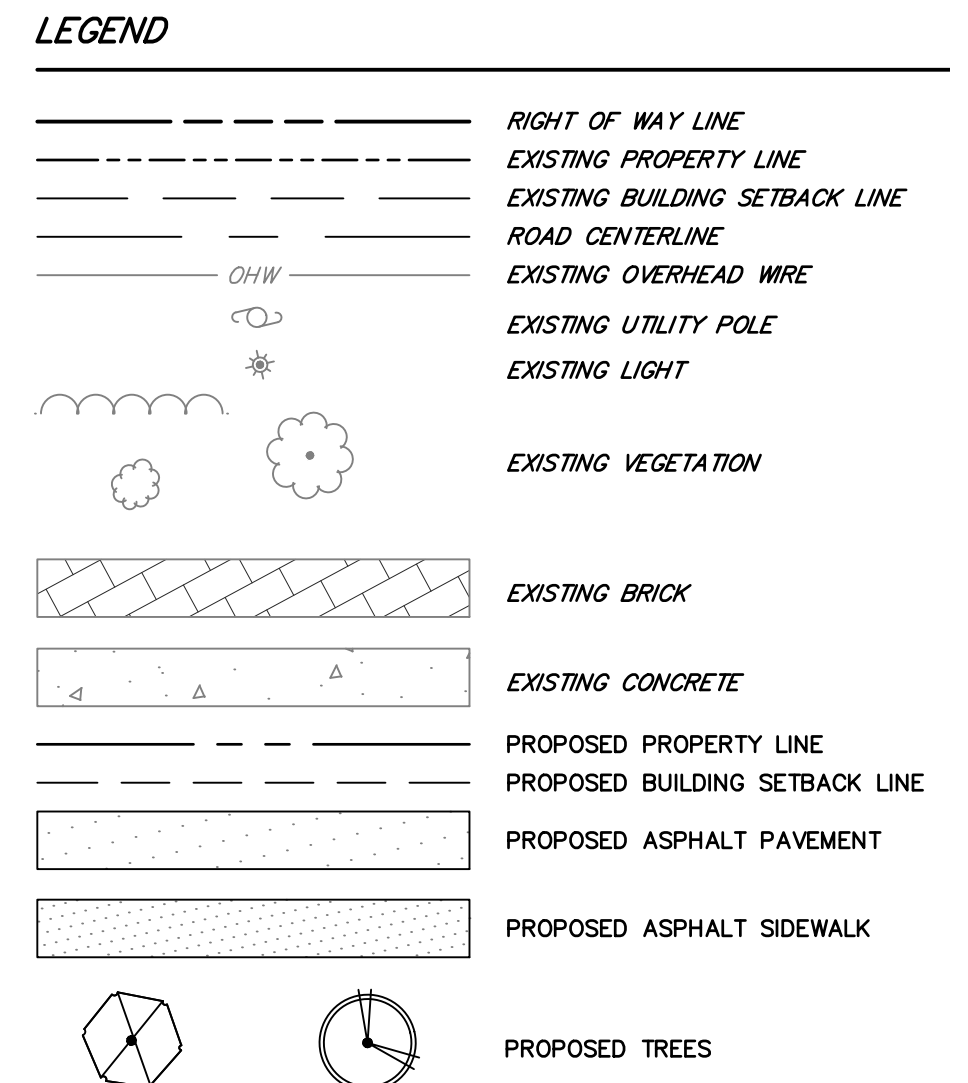


LOCATION MAP
1" = 1,000'

- PROPOSED EASEMENT NOTES:**
- A BLANKING PARKING, ACCESS, AND STORMWATER MANAGEMENT EASEMENT IS PROPOSED TO PROVIDE CROSS ACCESS TO PARKING AND STORMWATER MANAGEMENT FACILITIES FOR ALL THREE PROPERTIES.

- GRANTED VARIANCES:**
- A VARIANCE WAS GRANTED BY THE ZONING HEARING BOARD ON JUNE 19, 2025 FOR APPLICATION #25-01, GRANTING A VARIANCE FROM § 208-38 TO CONSTRUCT A TWO-FAMILY DETACHED DWELLING (DUPEX) ON A NEWLY CREATED LOT SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE APPLICANT SHALL PROCEED IN SUBSTANTIAL CONFORMANCE WITH THE TESTIMONY AND EXHIBITS PRESENTED AT THE HEARING.
 - IN ALL OTHER RESPECTS, THE APPLICANT SHALL COMPLY WITH ALL PROVISIONS OF THE STATUTES, LAWS, REGULATIONS, RULES, CODES AND ORDINANCES OF THE UNITED STATES, COMMONWEALTH OF PENNSYLVANIA, MONTGOMERY COUNTY, NORTH WALES BOROUGH AND ANY OTHER OTHER MUNICIPAL ENTITY HAVING JURISDICTION OVER THIS MATTER WHICH SHALL INCLUDE OBTAINING ALL PROPER INSPECTIONS AND PERMITS.

- REQUESTED WAIVERS:**
- A WAIVER IS BEING REQUESTED FROM § 184-33-C-1 TO ALLOW A 400' AERIAL MAP TO SHOW EXISTING INFORMATION WITHIN 400- FEET OF THE SUBJECT PROPERTY.
 - A WAIVER IS BEING REQUESTED FROM § 184-33 TO COMBINE THE PRELIMINARY AND FINAL SUBDIVISION SUBMISSIONS IN TO A SINGULAR FINAL MINOR SUBDIVISION SUBMISSION.
 - A WAIVER IS BEING REQUESTED FROM § 184-26-F(1) TO ALLOW NO SCREEN BUFFER ADJACENT TO THE PARKING LOT.



CERTIFICATION OF OWNERS OF RECORD AND DEDICATION
DONNA MENDEL

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE BOROUGH OF NORTH WALES, MONTGOMERY COUNTY, PENNSYLVANIA, (AND DEDICATED TO THE USE OF THE PUBLIC FOREVER ALL LAND FOR PUBLIC PURPOSES SHOWN HEREON).

THE FOREGOING ADOPTION (AND DEDICATION) IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALEXANDRIA CITY PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF LEHIGH COUNTY, PENNSYLVANIA, WITHIN 90 DAYS OF THE DATE OF SAID APPROVAL.

(SIGNATURE OF OWNER)
BOROUGH COUNCIL APPROVAL
THE WITHIN PLOT OR PLAN OF LAND LOCATED IN THE BOROUGH OF NORTH WALES, MONTGOMERY COUNTY, PENNSYLVANIA, WAS APPROVED BY THE NORTH WALES BOROUGH COUNCIL.

SECRETARY _____ DATE _____
ZONING HEARING BOARD CERTIFICATION
APPROVED BY THE ZONING HEARING BOARD ON THE ____ DAY OF ____ 20__

CHAIR
SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

(SEAL) RYAN PATRICK, P.L.S. DATE _____

ENGINEER'S CERTIFICATION
JOHN L. KOUTSOUROS, A PENNSYLVANIA PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

JOHN L. KOUTSOUROS, P.E.
LICENSE NUMBER PE-087853
CARROLL ENGINEERING CORPORATION
949 EASTON ROAD
WARRINGTON, PA 18976

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

APPLICANT & OWNER OF RECORD		ZONING INFORMATION (PROPOSED LOT)		AREA & DIMENSIONAL REQUIREMENTS	
1	APPLICANT & OWNER OF RECORD PARCEL ID NUMBER	DONNA MENDEL TBD		REQUIRED	PROPOSED
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM LOT AREA (SF)	5,000.0	6,156.7
3	EXISTING USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM LOT WIDTH (FT.)	35.0	37.86
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MAXIMUM BUILDING HEIGHT (FT.)	40.0	<40
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MAXIMUM BUILDING STORIES	3.0	3.0
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MAXIMUM IMPERVIOUS SURFACE RATIO (%)	85%	81.9%
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM BUILD TO LINE (FT.)	8.0	29.77
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM BUILD TO LINE (FT.)	30.0	29.77
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM ATTACHED SIDE YARD SETBACK (FT.)	0.0	N/A
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM DETACHED SIDE YARD SETBACK (FT.)	5.0	6.00
3	PROPOSED USE	B-4 TWO-FAMILY DETACHED DWELLING (DUPEX)	MINIMUM REAR YARD SETBACK (FT.)	25.0	30.83
4	EXISTING SITE AREA (SF)	(AC)	6 OFF-STREET PARKING REQUIREMENTS	REQUIRED	PROPOSED ⁽¹⁾
4	TOTAL/GROSS LOT AREA	6,156.7	0.141	2	4
4	(-) EXISTING EASEMENTS OR COVANTANTS	0	0.000		10
4	(-) RESOURCE PROTECTION LANDS REQUIRED	0	0.000		
4	NET LOT AREA	6,156.7	0.141		

(1) - PROPOSED PARKING INCLUDES ALL STALLS SHARED BETWEEN 201-203 N. MAIN STREET, 205 N. MAIN STREET, AND THE PROPOSED LOT.

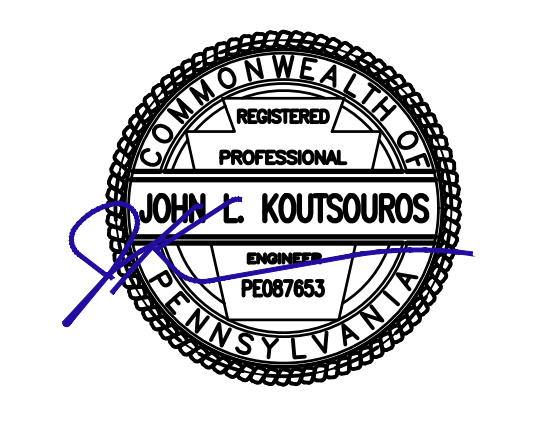
APPLICANT & OWNER OF RECORD		ZONING INFORMATION (201 & 203 N. MAIN STREET)		AREA & DIMENSIONAL REQUIREMENTS	
1	APPLICANT & OWNER OF RECORD PARCEL ID NUMBER	DONNA MENDEL 14-00-01444-00-9		REQUIRED	EXISTING
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM LOT AREA (SF)	5,000.0	8,545.5
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM LOT WIDTH (FT.)	35.0	37.77
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM BUILD TO LINE (FT.)	40.0	<40
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MAXIMUM BUILDING HEIGHT (FT.)	40.0	<40
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MAXIMUM BUILDING STORIES	3.0	3.0
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MAXIMUM IMPERVIOUS SURFACE RATIO (%)	85%	61.6%
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MINIMUM BUILD TO LINE (FT.)	8.0	28.03
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MINIMUM BUILD TO LINE (FT.)	30.0	28.03
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MINIMUM ATTACHED SIDE YARD SETBACK (FT.)	0.0	0.0
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MINIMUM DETACHED SIDE YARD SETBACK (FT.)	5.0	N/A
3	EXISTING USE	B-4 TWO-FAMILY SEMI-ATTACHED DWELLING (DUPEX)	MINIMUM REAR YARD SETBACK (FT.)	25.0	25.00
4	EXISTING SITE AREA (SF)	(AC)	6 OFF-STREET PARKING REQUIREMENTS	REQUIRED	EXISTING ⁽¹⁾ PROPOSED ⁽²⁾
4	TOTAL/GROSS LOT AREA	8,545.5	0.196	4	6
4	(-) EXISTING EASEMENTS OR COVANTANTS	0	0.000		10
4	(-) RESOURCE PROTECTION LANDS REQUIRED	0	0.000		
4	NET LOT AREA	8,545.5	0.196		

(1) - EXISTING PARKING INCLUDES ALL STALLS SHARED BETWEEN 201-203 N. MAIN STREET AND 205 N. MAIN STREET.
(2) - PROPOSED PARKING INCLUDES ALL STALLS SHARED BETWEEN 201-203 N. MAIN STREET, 205 N. MAIN STREET, AND THE PROPOSED LOT.
(3) - THE PROPOSED MAXIMUM IMPERVIOUS SURFACE COVERAGE IS BASED ON THE PROPOSED LOT AREA OF 5,532.3 SF.

APPLICANT & OWNER OF RECORD		ZONING INFORMATION (205 N. MAIN STREET)		AREA & DIMENSIONAL REQUIREMENTS	
1	APPLICANT & OWNER OF RECORD PARCEL ID NUMBER	DONNA MENDEL 14-00-01444-00-5		REQUIRED	EXISTING
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM LOT AREA (SF)	5,000.0	9,136.9
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM LOT WIDTH (FT.)	35.0	47.64
2	DISTRICT	CBD - COMMERCIAL BUSINESS	MINIMUM BUILD TO LINE (FT.)	40.0	<40
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MAXIMUM BUILDING HEIGHT (FT.)	40.0	<40
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MAXIMUM BUILDING STORIES	3.0	3.0
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MAXIMUM IMPERVIOUS SURFACE RATIO (%)	85%	36.6%
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MINIMUM BUILD TO LINE (FT.)	8.0	19.98
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MINIMUM BUILD TO LINE (FT.)	30.0	19.98
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MINIMUM ATTACHED SIDE YARD SETBACK (FT.)	0.0	0.0
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MINIMUM DETACHED SIDE YARD SETBACK (FT.)	5.0	10.62
3	EXISTING USE	B-3 SINGLE-FAMILY SEMI-ATTACHED DWELLING	MINIMUM REAR YARD SETBACK (FT.)	25.0	81.72
4	EXISTING SITE AREA (SF)	(AC)	6 OFF-STREET PARKING REQUIREMENTS	REQUIRED	EXISTING ⁽¹⁾ PROPOSED ⁽²⁾
4	TOTAL/GROSS LOT AREA	9,136.9	0.210	2	6
4	(-) EXISTING EASEMENTS OR COVANTANTS	0	0.000		10
4	(-) RESOURCE PROTECTION LANDS REQUIRED	0	0.000		
4	NET LOT AREA	9,136.9	0.210		

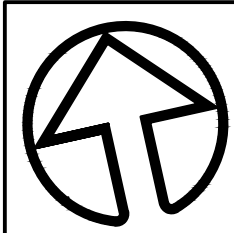
(1) - EXISTING PARKING INCLUDES ALL STALLS SHARED BETWEEN 201-203 N. MAIN STREET AND 205 N. MAIN STREET.
(2) - PROPOSED PARKING INCLUDES ALL STALLS SHARED BETWEEN 201-203 N. MAIN STREET, 205 N. MAIN STREET, AND THE PROPOSED LOT.
(3) - THE PROPOSED MAXIMUM IMPERVIOUS SURFACE COVERAGE IS BASED ON THE PROPOSED LOT AREA OF 5,993.4 SF.

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433 Lancaster Avenue, Suite 200 101 Larry Holmes Drive, Suite 201
Malvern, PA 19355 Easton, PA 18042
Phone: 610.489.5100 Phone: 610.909.4540
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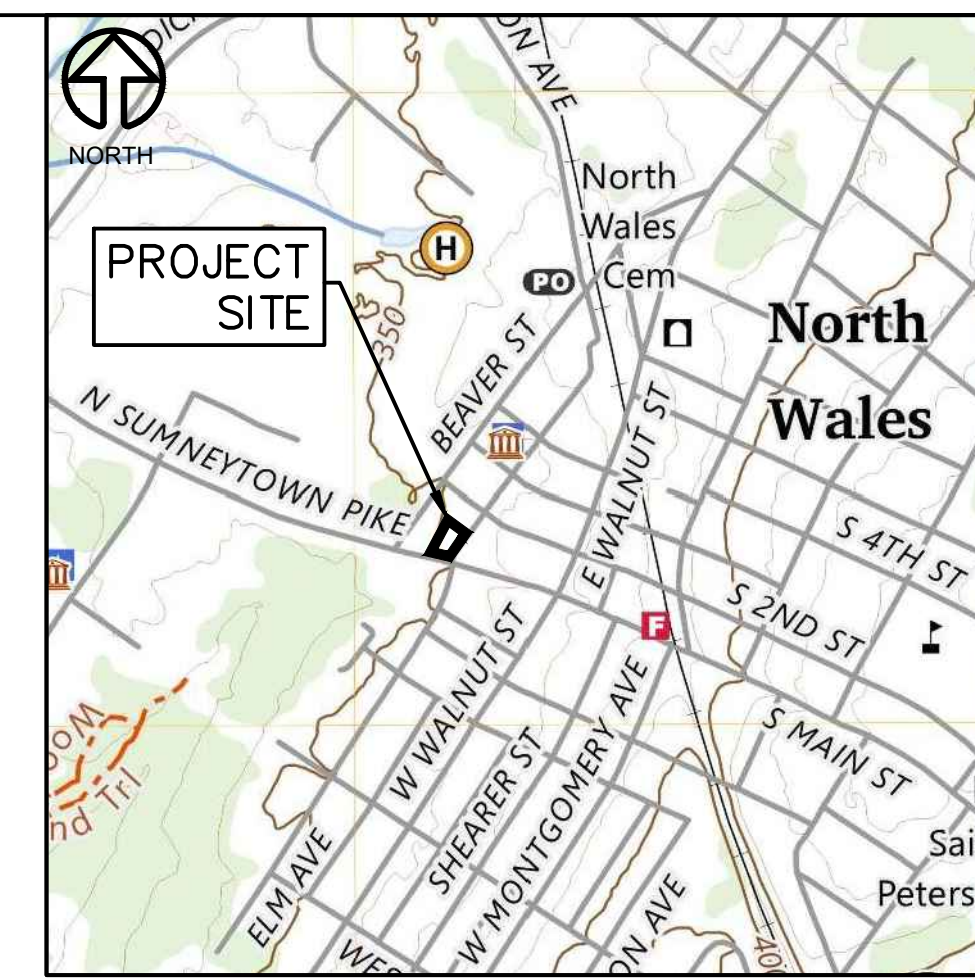
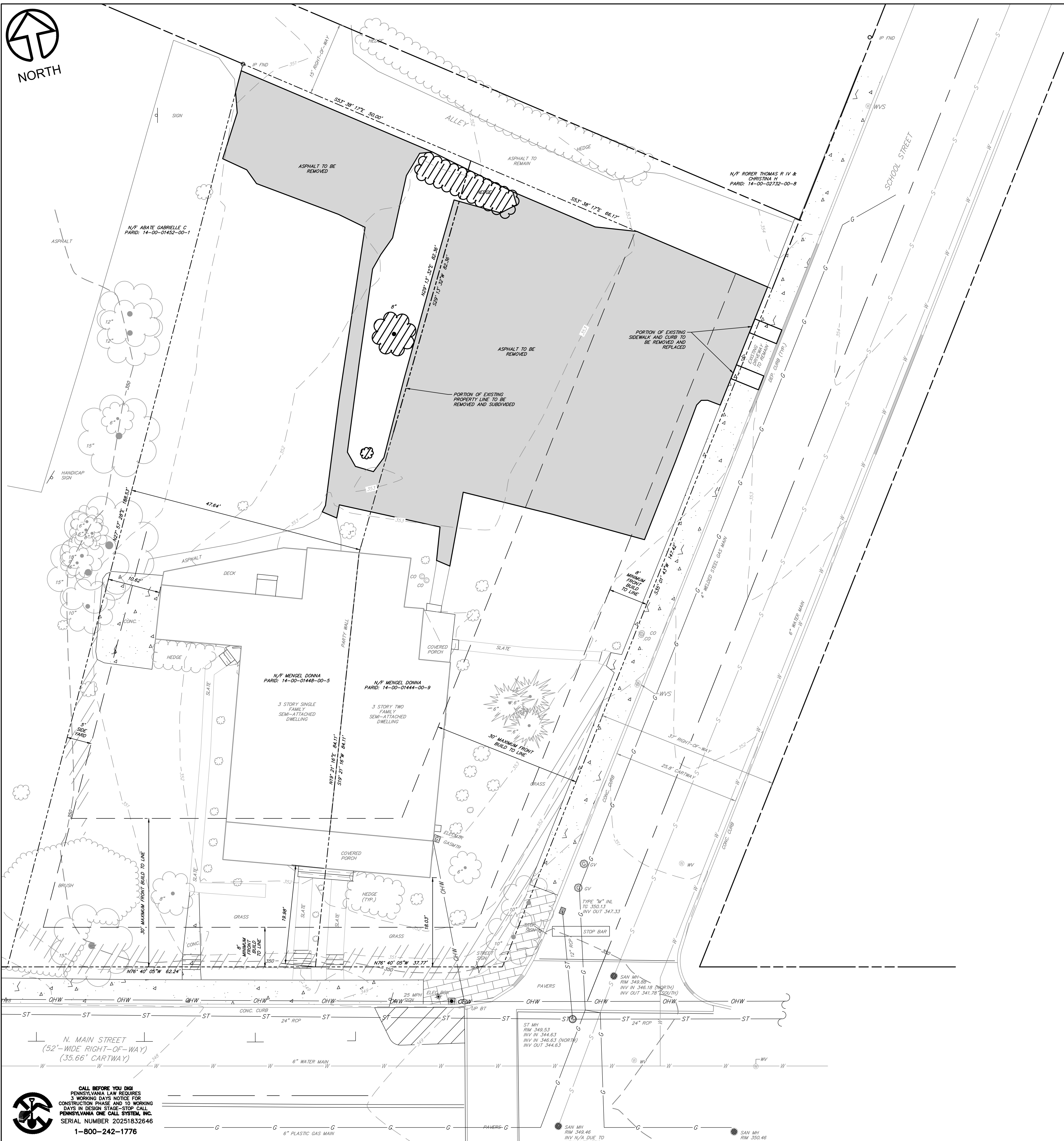


RECORD & SUBDIVISION PLAN
201-205 N. MAIN STREET
SITUATED IN
NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
PREPARED FOR
DONNA MENDEL
114 N. MAIN STREET
NORTH WALES, PA 19454

DATE 07/18/2025
CADD FILE 2415760102
JOB NO 241576
DSG BY CML
DWN BY CML
CKD BY JLK
SCALE 1" = 10'
DRAWER NUMBER -
SHEET 2 OF 11 SHEETS
DRAWING NUMBER C-101



NORTH



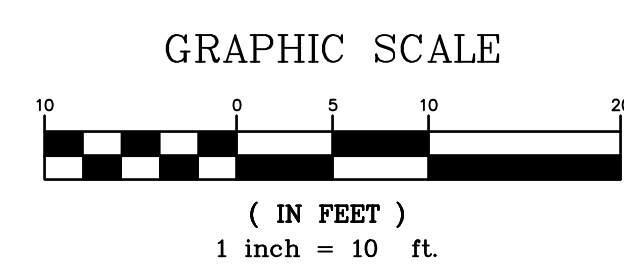
LOCATION MAP
1" = 1,000'

LEGEND

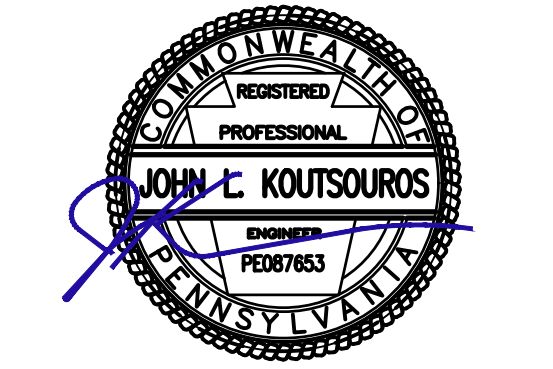
	RIGHT OF WAY LINE
	EXISTING PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING CLEANOUT
	EXISTING LIGHT
	EXISTING VEGETATION
	EXISTING BRICK
	EXISTING CONCRETE
	EXISTING ASPHALT TO BE REMOVED
	EXISTING VEGETATION TO BE REMOVED
	EXISTING STEEP SLOPES (15% OR GREATER)

SURVEY NOTES:

- FIELD WORK FOR BOUNDARY SURVEY AND EXISTING FEATURES SURVEY OF 201 AND 205 N. MAIN STREET, BOROUGH OF NORTH WALES, MONTGOMERY COUNTY, PENNSYLVANIA WAS COMPLETED IN DECEMBER 2024.
- HORIZONTAL DATUM IS BASED ON PENNSYLVANIA STATE PLANE NAD 83. METES AND BOUNDS ARE LABELED PER STATE PLANE.
- VERTICAL DATUM IS BASED ON NAVD88.
- DEEDS FOR BOTH SUBJECT TRACTS ARE MISCLOSEURES. BOUNDARY INFORMATION IS BASED ON HOLDING THE RIGHT OF WAY ALONG SCHOOL STREET, AND BEAVER STREET AS WELL AS AN IRON PIN FOUND IN THE ALLEY AND THE PARTITION WALL OF THE HOUSE (AS CALLED OUT IN THE DEED).
- BY GRAPHIC PLOTTING ONLY THE FOLLOWING PROPERTY IS LOCATED IN THE FOLLOWING FLOOD HAZARD ZONE: 201 AND 205 N. MAIN STREET, ZONE X PER FEMA FLOOD MAP NUMBER: 42091C0259G DATED 03/02/2016.
- THE FOLLOWING DOCUMENTS WERE USED IN RESOLUTION OF THE BOUNDARY IN PREPARATION OF THE SURVEY MAP:
 - DEEDS OF RECORD RECORDED IN THE MONTGOMERY COUNTY RECORDER OF DEEDS:
 - DEED BOOK 5367 PAGE 428 (201 N. MAIN STREET- SUBJECT TRACT)
 - DEED BOOK 4995 PAGE 177 (205 N. MAIN STREET- SUBJECT TRACT)
 - DEEDS OF RECORD FOR ALL ADJOINING PROPERTIES
 - NO PLANS WERE UTILIZED FOR THIS SURVEY.
- A PA ONE CALL (SERIAL NUMBER: 20251832646) WAS PLACED AS PART OF THIS SURVEY.
- ZONING REPORT OR LETTER WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENTS DESIGNATED REPRESENTATIVE. ZONING INFORMATION IS NOT SHOWN.
- A LAND SURVEYOR IN THE COMMONWEALTH OF PENNSYLVANIA CAN ONLY CERTIFY TO AS-CONSTRUCTED INFORMATION THAT CAN BE OBTAINED FROM ABOVE GROUND OBSERVATIONS. LOCATIONS OF UNDERGROUND UTILITY LINES SUCH AS ALL SANITARY MAINS, STORM SEWER PIPING, WATER LINES, GAS PIPING, ELECTRICAL AND CABLE LINES ARE NOT CERTIFIED BY THE BELOW SIGNED INDIVIDUAL AND ARE CONSIDERED TO BE APPROXIMATE.
- LEGAL RIGHT OF WAY INFORMATION SHOWN IS BASED ON A PDF TITLED "BOROUGH OF NORTH WALES- SECOND WARD- BLOCK NO. 7"



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 Fax: 908.874.5152
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 Malvern, PA 19353 Easton, PA 18042
 Phone: 610.489.5100 Phone: 610.909.4940
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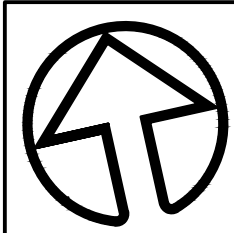


EXISTING FEATURES & DEMOLITION PLAN

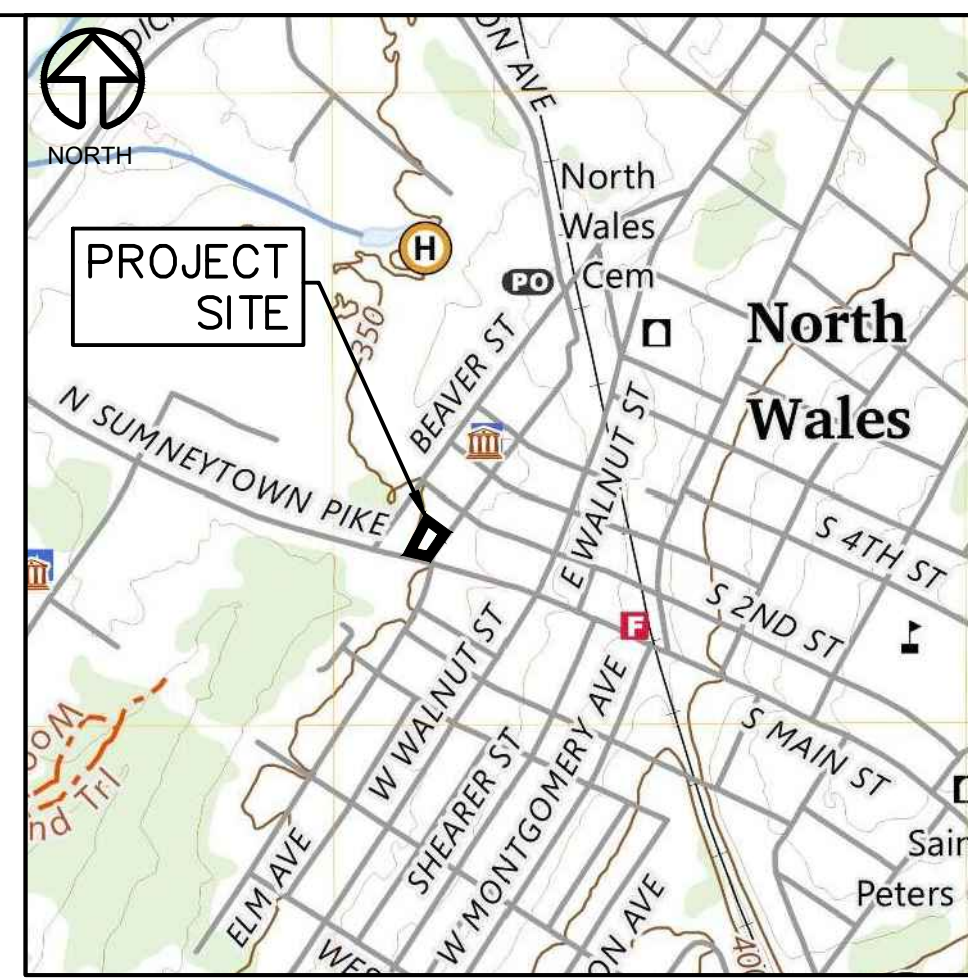
201-205 N. MAIN STREET
 SITUATED IN
 NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
 PREPARED FOR
DONNA MENDEL
 114 N. MAIN STREET
 NORTH WALES, PA 19454

DATE	07/18/2025
CADD FILE	2415760103
JOB NO	241576
DSG BY	CML
DWN BY	CML
CKD BY	JLK
SCALE	1" = 10'
DRAWER NUMBER	-
SHEET	3 OF 11 SHEETS
DRAWING NUMBER	V-101

CALL BEFORE YOU DIG
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE-STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 SERIAL NUMBER 20251832646
 1-800-242-1776



NORTH



LOCATION MAP
1" = 1,000'

LEGEND

- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- OHW EXISTING OVERHEAD WIRE
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- 350 EXISTING MAJOR CONTOUR
- 353 EXISTING MINOR CONTOUR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING CLEANOUT
- EXISTING LIGHT
- EXISTING VEGETATION
- ▨ EXISTING BRICK
- ▨ EXISTING CONCRETE
- PROPOSED PROPERTY LINE
- PROPOSED MINOR CONTOUR
- S PROPOSED STORM SEWER
- W PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SEEPAGE PIT
- PROPOSED TREES



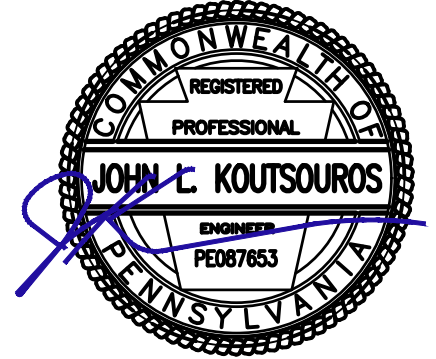
Carroll Engineering Corporation

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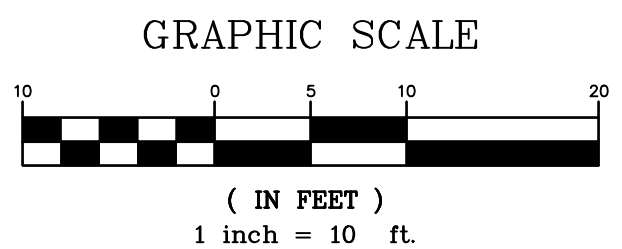


GRADING PLAN
201-205 N. MAIN STREET
SITUATED IN
NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
PREPARED FOR
DONNA MENDEL
114 N. MAIN STREET
NORTH WALES, PA 19454

I:\proj\18\201-205 N Main St\DWG\201-205 N Main St.dwg

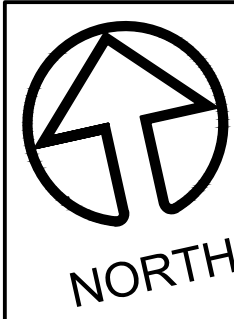
CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE- STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
SERIAL NUMBER 20251832646
1-800-242-1776

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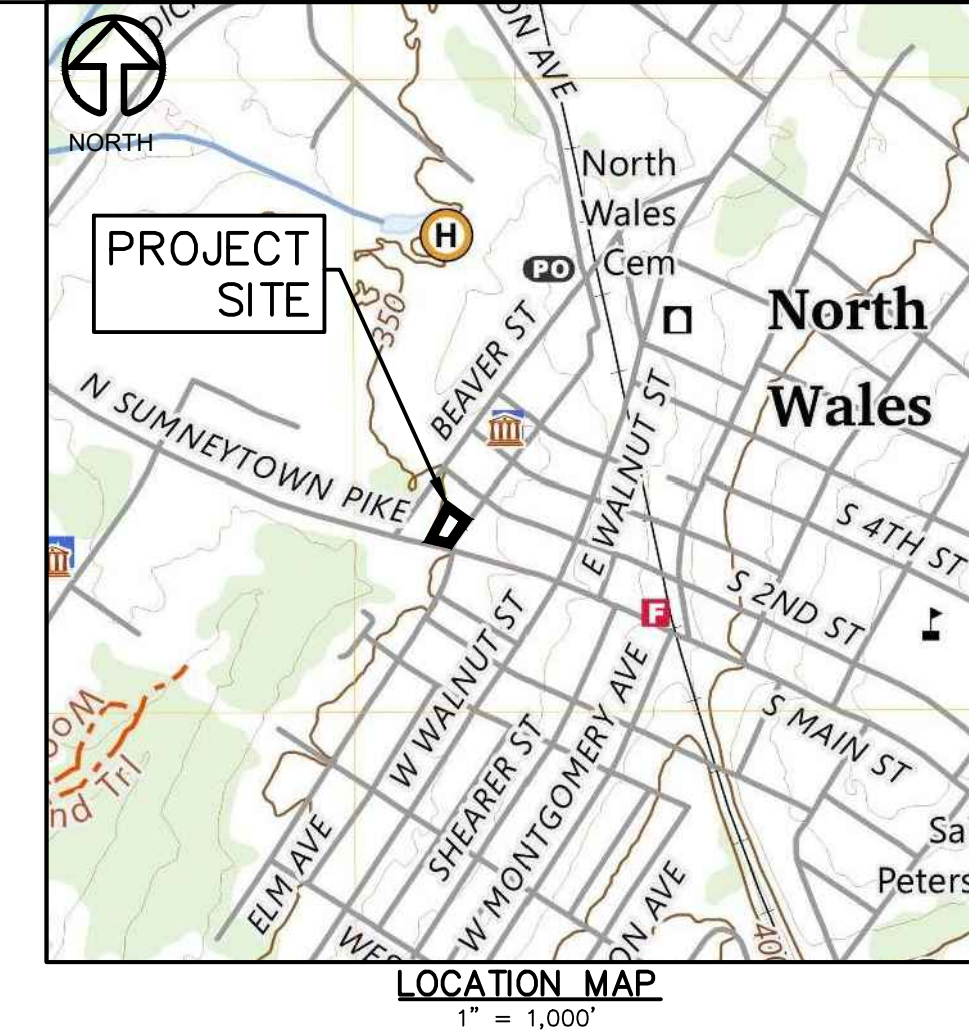


DATE	07/18/2025
CADD FILE	2415760105
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DWN BY	CML
CKD BY	JLK
SCALE	1" = 10'
DRAWER NUMBER	-
SHEET	4 OF 11 SHEETS
DRAWING NUMBER	C-102

NO.	DATE	DESCRIPTION

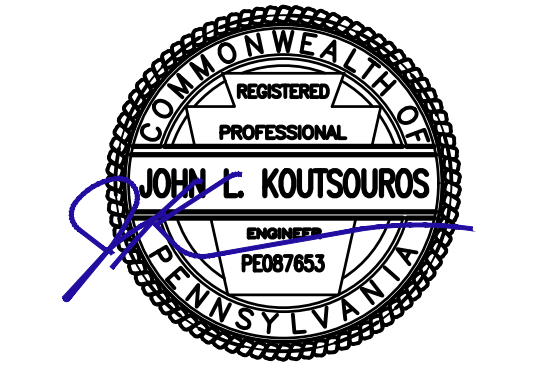


NORTH



LOCATION MAP
1" = 1,000'

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LEGEND

- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- CHW EXISTING OVERHEAD WIRE
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- 350 EXISTING MAJOR CONTOUR
- 351.7 EXISTING MINOR CONTOUR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING CLEANOUT
- EXISTING LIGHT
- EXISTING VEGETATION
- EXISTING BRICK
- EXISTING CONCRETE
- PROPOSED PROPERTY LINE
- PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- S PROPOSED SANITARY SEWER
- W PROPOSED WATER LINE
- PROPOSED SEEPAGE PIT
- PROPOSED TREES

GENERAL NOTES

- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- ALL PROPOSED SANITARY PIPING SHALL BE SCH. 40.

PROJECT DESCRIPTION

THE SCOPE OF WORK IS TO SUBDIVIDE PARCELS 14-00-01448-00-5 & 14-00-01444-00-9 TO CREATE A NEW PROPERTY. A TWO-FAMILY DETACHED DUPLEX IS PROPOSED WITH ASPHALT PARKING AREA. THE INCREASE IN RUNOFF IS MANAGED VIA A SEEPAGE PIT ON THE SOUTHERN SIDE OF THE PROPOSED BUILDING.

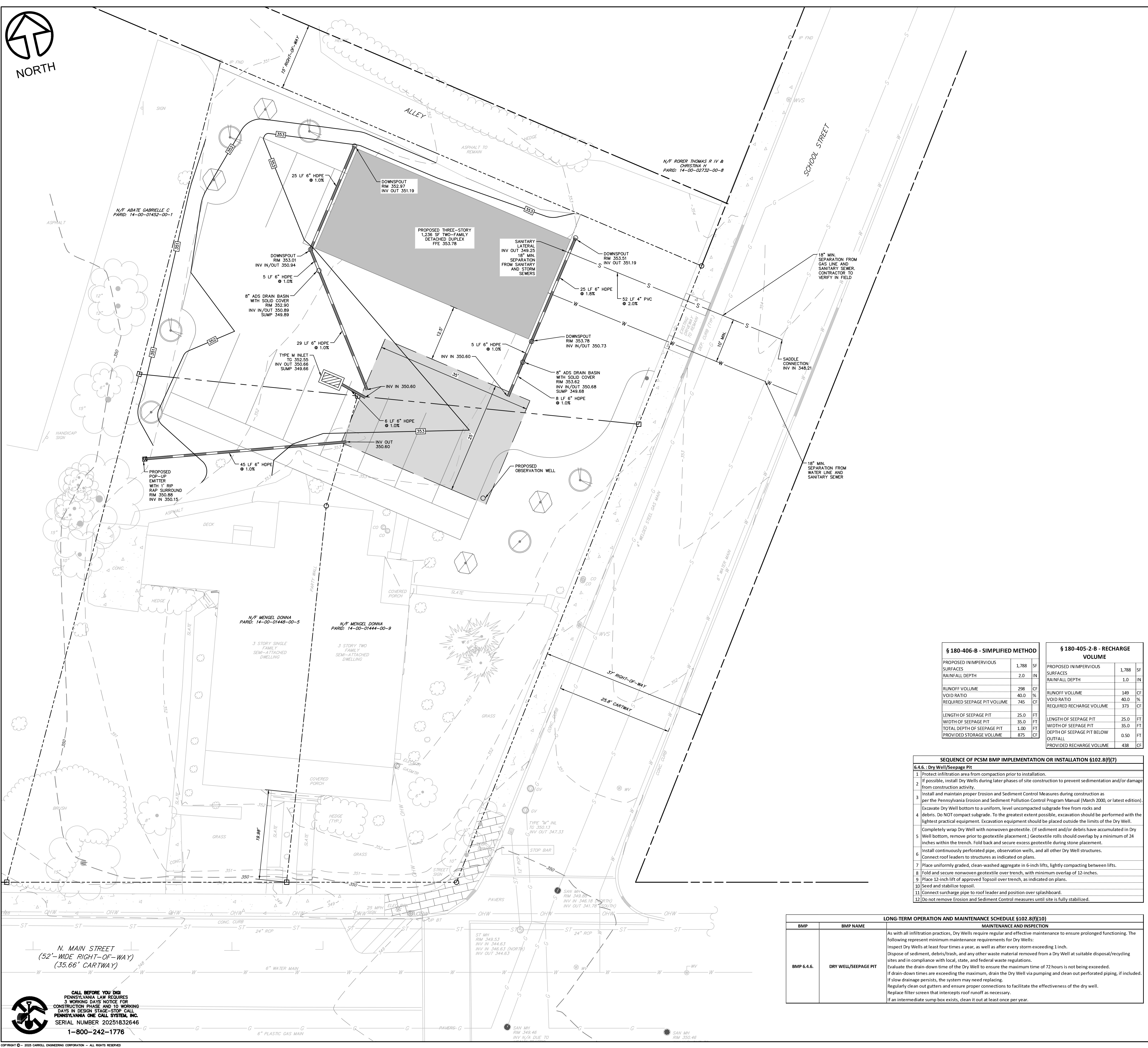
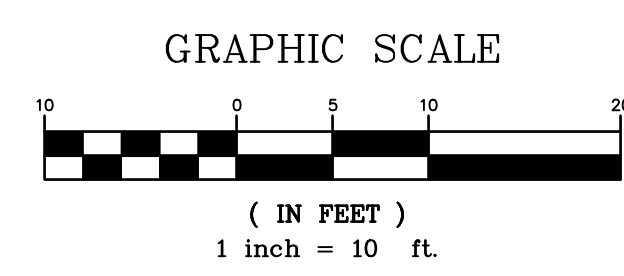
ENGINEER'S CERTIFICATION

I, JOHN L. KOUTSOUROU, ON THIS DATE HEREBY CERTIFY THAT THIS DRAINAGE PLAN MEETS ALL REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S (DEP'S) REGULATIONS AND THIS CHAPTER

JOHN L. KOUTSOUROU, P.E.
 LICENSE NUMBER PE-087653
 CARROLL ENGINEERING CORPORATION
 949 EASTON ROAD
 WARRINGTON, PA 18976

MUNICIPAL CERTIFICATION

ON THIS DATE HAS REVIEWED AND HEREBY CERTIFIES THAT THE SWM SITE PLAN MEETS ALL DESIGN.



§ 180-406-B - SIMPLIFIED METHOD		§ 180-405-2-B - RECHARGE VOLUME	
PROPOSED IMPERVIOUS SURFACES	1,788 SF	PROPOSED IMPERVIOUS SURFACES	1,788 SF
RAINFALL DEPTH	2.0 IN	RAINFALL DEPTH	1.0 IN
RUNOFF VOLUME	298 CF	RUNOFF VOLUME	149 CF
VOID RATIO	40.0 %	VOID RATIO	40.0 %
REQUIRED SEEPAGE PIT VOLUME	745 CF	REQUIRED RECHARGE VOLUME	373 CF
LENGTH OF SEEPAGE PIT	25.0 FT	LENGTH OF SEEPAGE PIT	25.0 FT
WIDTH OF SEEPAGE PIT	35.0 FT	WIDTH OF SEEPAGE PIT	35.0 FT
TOTAL DEPTH OF SEEPAGE PIT	1.00 FT	DEPTH OF SEEPAGE PIT BELOW OUTFALL	0.50 FT
PROVIDED STORAGE VOLUME	875 CF	PROVIDED RECHARGE VOLUME	438 CF

- SEQUENCE OF PCSM BMP IMPLEMENTATION OR INSTALLATION §102.8(f)(7)**
- 6.4.6: Dry Well/Seepage Pit
 - 1 Protect infiltration area from compaction prior to installation.
 - 2 If possible, install Dry Wells during later phases of site construction to prevent sedimentation and/or damage from construction activity.
 - 3 Install and maintain proper Erosion and Sediment Control Measures during construction as per the Pennsylvania Erosion and Sediment Pollution Control Program Manual (March 2000, or latest edition).
 - 4 Excavate Dry Well bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do NOT compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the Dry Well.
 - 5 Completely wrap Dry Well with nonwoven geotextile. (If sediment and/or debris have accumulated in Dry Well bottom, remove prior to geotextile placement.) Geotextile rolls should overlap by a minimum of 24 inches within the trench. Fold back and secure excess geotextile during stone placement.
 - 6 Install continuously perforated pipe, observation wells, and all other Dry Well structures. Connect roof leaders to structures as indicated on plans.
 - 7 Place uniformly graded, clean-washed aggregate in 6-inch lifts, lightly compacting between lifts.
 - 8 Fold and secure nonwoven geotextile over trench, with minimum overlap of 12-inches.
 - 9 Place 12-inch lift of approved Topsoil over trench, as indicated on plans.
 - 10 Seed and stabilize topsoil.
 - 11 Connect surcharge pipe to roof leader and position over splashboard.
 - 12 Do not remove Erosion and Sediment Control measures until site is fully stabilized.

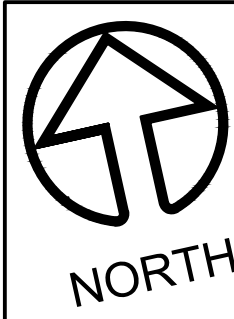
LONG-TERM OPERATION AND MAINTENANCE SCHEDULE §102.8(f)(10)		
BMP	BMP NAME	MAINTENANCE AND INSPECTION
BMP 6.4.6	DRY WELL/SEEPAGE PIT	As with all infiltration practices, Dry Wells require regular and effective maintenance to ensure prolonged functioning. The following represent minimum maintenance requirements for Dry Wells: Inspect Dry Wells at least four times a year, as well as after every storm exceeding 1 inch. Dispose of sediment, debris/trash, and any other waste material removed from a Dry Well at suitable disposal/recycling sites and in compliance with local, state, and federal waste regulations. Evaluate the drain-down time of the Dry Well to ensure the maximum time of 72 hours is not being exceeded. If drain-down times are exceeding the maximum, drain the Dry Well via pumping and clean out perforated piping, if included. If slow drainage persists, the system may need replacing. Regularly clean out gutters and ensure proper connections to facilitate the effectiveness of the dry well. Replace filter screen that intercepts roof runoff as necessary. If an intermediate sump box exists, clean it out at least once per year.

CALL BEFORE YOU DIG
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE- STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 SERIAL NUMBER 20251832646
 1-800-242-1776

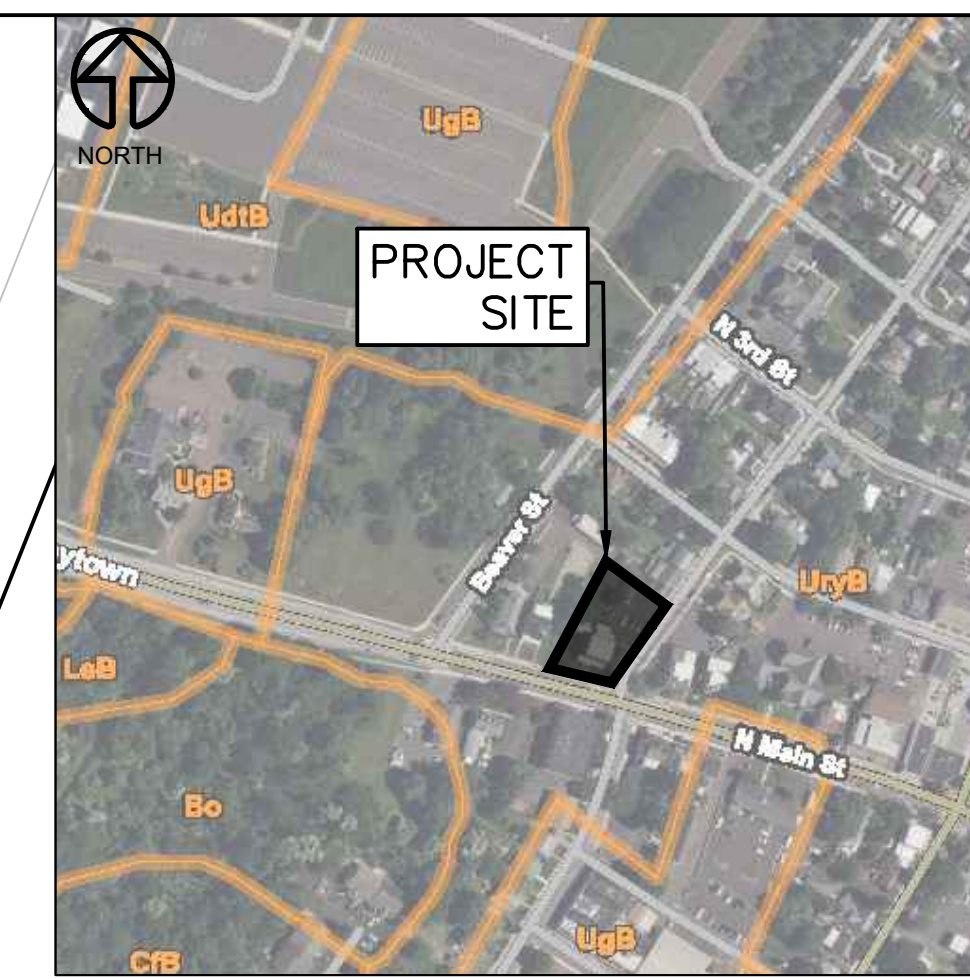
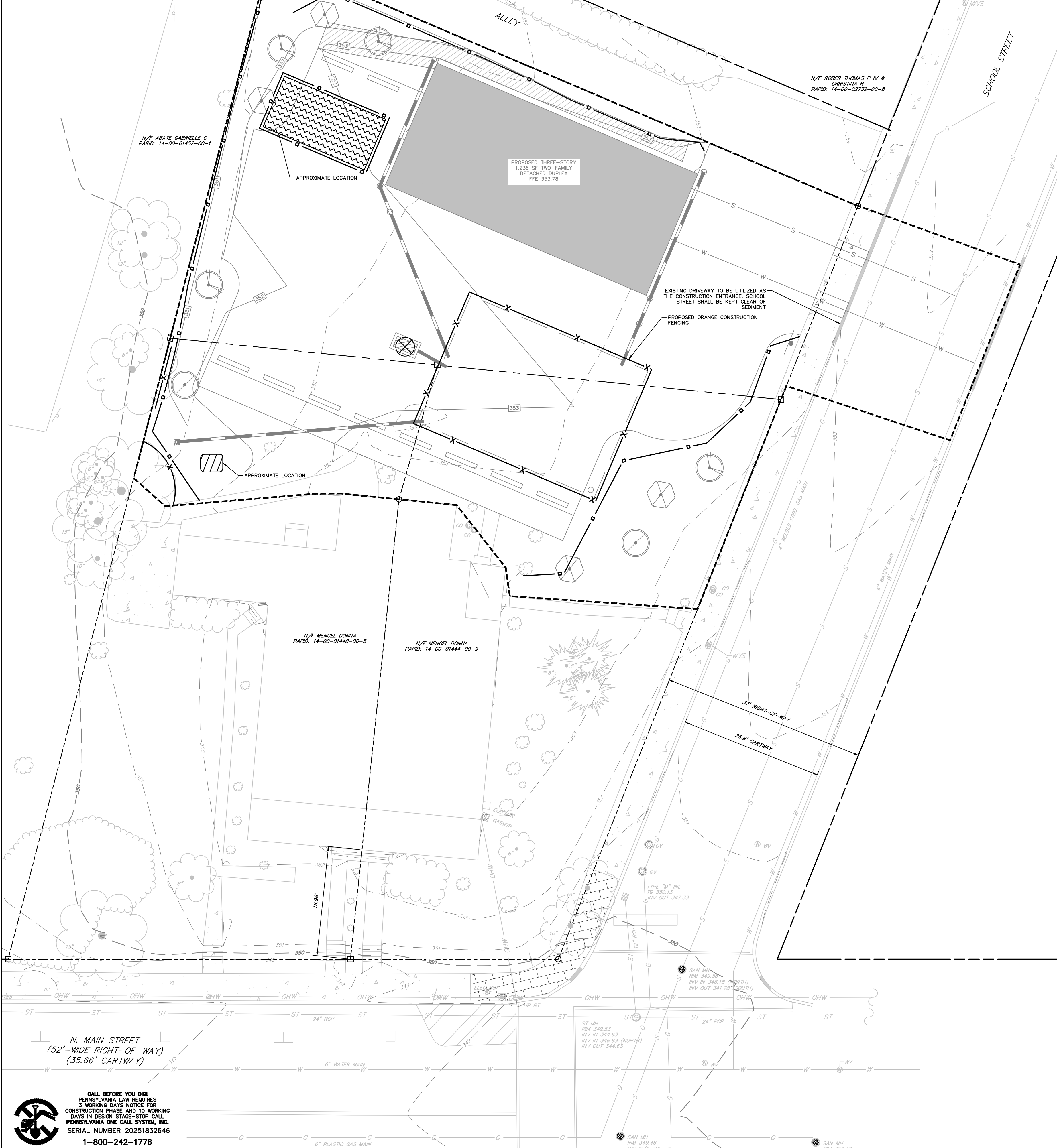
STORMWATER MANAGEMENT & UTILITY PLAN

201-205 N. MAIN STREET
 SITUATED IN
 NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
 PREPARED FOR
 DONNA MENDEL
 114 N. MAIN STREET
 NORTH WALES, PA 19454

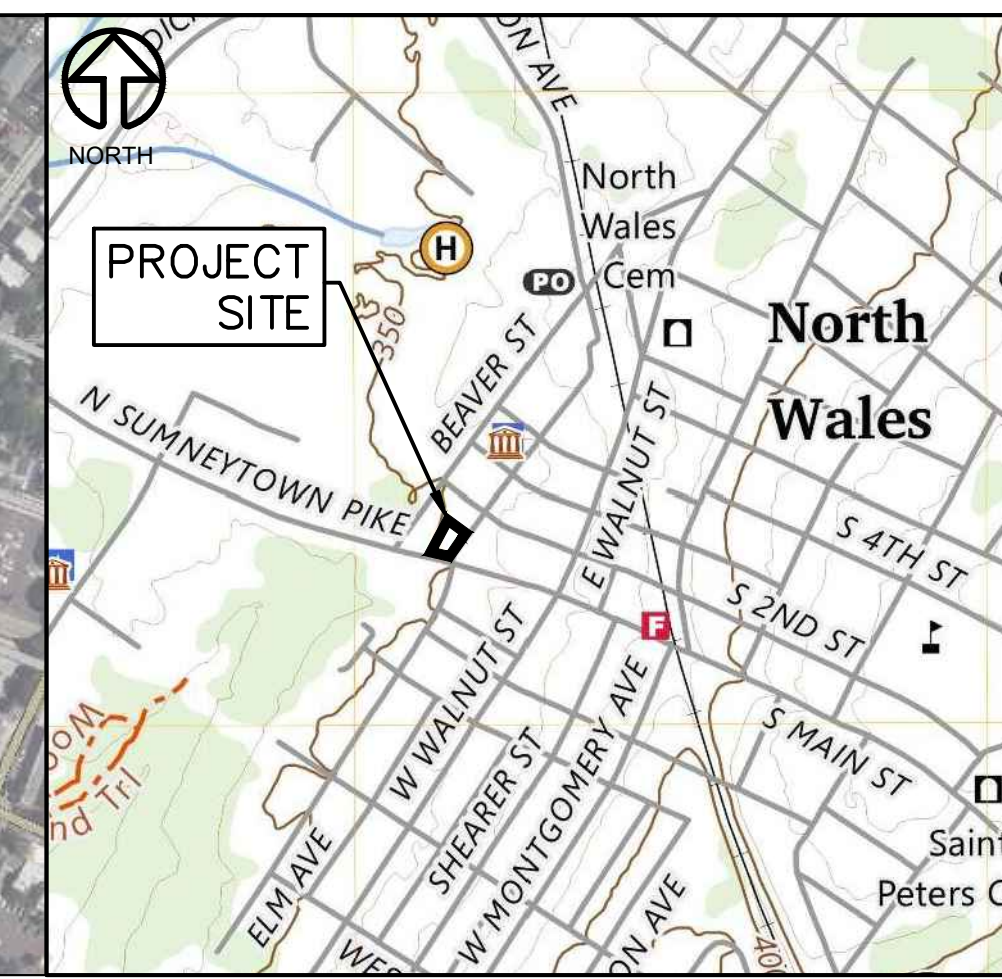
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 CADD FILE 2415760106
 JOB NO 241576
 DSG BY CML
 DWN BY CML
 CKD BY JLK
 SCALE 1" = 10'
 DRAWER NUMBER -
 SHEET 5 OF 11 SHEETS
 DRAWING NUMBER C-103



NORTH



SOIL MAP
1" = 300'



LOCATION MAP
1" = 1,000'

LEGEND

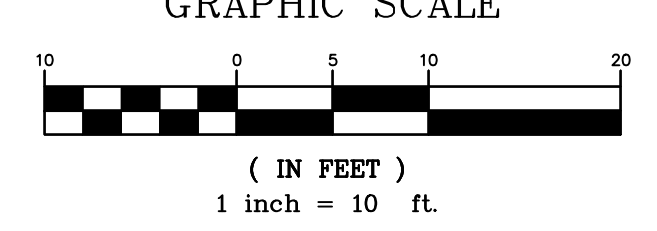
- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- EXISTING OVERHEAD WIRE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING CLEANOUT
- EXISTING LIGHT
- EXISTING VEGETATION
- EXISTING BRICK
- EXISTING CONCRETE
- PROPOSED PROPERTY LINE
- PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SEEPAGE PIT
- PROJECT LIMIT OF DISTURBANCE
- PROPOSED COMPOST FILTER SOCK
- PROPOSED TREE PROTECTION FENCE
- PROPOSED FILTER BAG INLET PROTECTION (FIP)
- PROPOSED TEMPORARY SOIL STOCKPILE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED CONCRETE WASHOUT
- PROPOSED TREES

SEQUENCE OF PCSM BMP IMPLEMENTATION OR INSTALLATION §102.8(f)(7)	
6.4.6. Dry Well/Seepage Pit	
1	Protect infiltration areas from compaction prior to installation.
2	If possible, install Dry Wells during later phases of site construction to prevent sedimentation and/or damage from construction activity.
3	Install and maintain proper Erosion and Sediment Control Measures during construction as per the Pennsylvania Erosion and Sediment Pollution Control Program Manual (March 2000, or latest edition).
4	Excavate Dry Well bottom to a uniform, level uncompact subgrade free from rocks and debris. Do NOT compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the Dry Well.
5	Completely wrap Dry Well with nonwoven geotextile. (If sediment and/or debris have accumulated in Dry Well bottom, remove prior to geotextile placement.) Geotextile rolls should overlap by a minimum of 24 inches within the trench. Fold back and secure excess geotextile during stone placement.
6	Install continuously perforated pipe, observation wells, and all other Dry Well structures.
7	Connect roof leaders to structures as indicated on plans.
8	Place uniformly graded, clean-washed aggregate in 6-inch lifts, lightly compacting between lifts.
9	Fold and secure nonwoven geotextile over trench, with minimum overlap of 12-inches.
10	Place 12-inch lift of approved Topsoil over trench, as indicated on plans.
11	Seed and stabilize topsoil.
12	Connect surcharge pipe to roof leader and position over splashboard.
13	Do not remove Erosion and Sediment Control measures until site is fully stabilized.

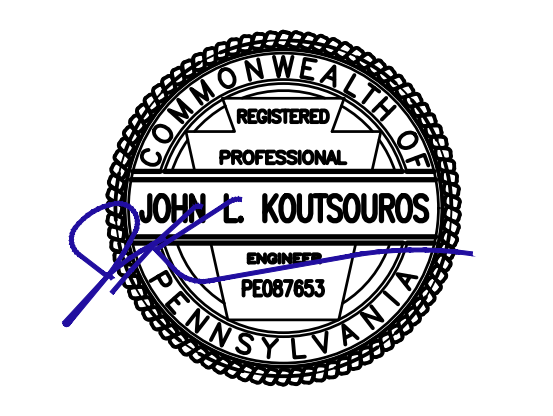
CONSTRUCTION SEQUENCE:

1. AT LEAST 7 DAYS PRIOR TO ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, E&SCP PLAN PREPARER, PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE AUTHORIZED COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
2. UPON INSTALLATION OR STABILIZATION OF ALL THE PERIMETER SEDIMENT CONTROL BMP(S) AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITEE OR CO-PERMITEE SHOULD PROVIDE NOTIFICATION TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR AUTHORIZED COUNTY CONSERVATION DISTRICT.
3. BEFORE THE START OF CONSTRUCTION, THE DEVELOPER SHOULD SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY AND CITY ENGINEER.
4. AT LEAST 3 DAYS PRIOR TO STARTING EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY MARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE CONTACTED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
5. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THIS CONSTRUCTION SEQUENCE. DEVIATION FROM THIS MUST BE APPROVED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION OR AUTHORIZED COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
6. UPON TEMPORARY CESSATION OF WORK (4 DAYS OR MORE, OR AS SOON AS FINAL GRADING HAS BEEN COMPLETED), IMMEDIATE STABILIZATION SHOULD COMMENCE.
7. FIELD-MARK LIMITS OF EARTH DISTURBANCE. INSTALL ORANGE CONSTRUCTION FENCE TO MINIMIZE COMPACTION DURING INSTALLATION.
8. INSTALL COMPOST FILTER SOCK AND TREE PROTECTION (AS SHOWN ON PLAN).
9. THE EXISTING DRIVEWAY SHALL BE UTILIZED AS THE CONSTRUCTION ENTRANCE. ACCUMULATION OF SEDIMENT SHALL BE REMOVED AS NECESSARY TO PREVENT SEDIMENT FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY.
10. DEMOLISH EXISTING SITE FEATURES AS NECESSARY. CONTRACTOR TO PROVIDE DUST CONTROL MEASURES DURING ALL DEMOLITION ACTIVITIES OF SITE WORK AND BUILDING WORK. CONTINUALLY SPRAY DISTURBED AREAS WITH WATER FROM MULTIPLE HOSES OR WATER TRUCK, AS NEEDED, TO MINIMIZE DUST DURING DEMOLITION OF SITE FEATURES. CONTRACTOR SHALL DISPOSE OF MATERIALS REMOVED ACCORDING TO LOCAL AND STATE REQUIREMENTS.
11. INITIATE ROUGH GRADING.
12. INSTALL EROSION CONTROL BLANKETS AND REPOSITION EROSION CONTROL BMPS AS NECESSARY.
13. **CRITICAL STAGE: CONSTRUCT THE FOLLOWING SWM BMPS (LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT):**
 - STONE SEEPAGE PIT (SEE SEQUENCE OF PCSM BMP INSTALLATION).
14. INITIATE THE NECESSARY EARTHWORK TO REACH THE FINAL GRADES INDICATED ON THE PLANS.
15. CONSTRUCT UNDERGROUND UTILITIES AS SHOWN ON PLANS. INSTALL STORM SEWERS STARTING FROM THE DOWNSTREAM STRUCTURE. INSTALL INLET PROTECTION AS INDICATED ON THE PLANS.
16. CONSTRUCT BUILDINGS, PAVEMENT AND OTHER SITE FEATURES AS SHOWN ON THE PLANS.
17. COMMENCE WITH PERMANENT STABILIZATION (FINAL GRADING AND PERMANENT SEEDING). INSTALL LANDSCAPING AS SHOWN ON THE PLANS.
18. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED. PERMANENT STABILIZATION IN GRASSED AREAS IS CONSIDERED UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA, AND TEMPORARY PAVING OR SUBBASE ARE ACCEPTABLE FOR PAVED AREAS.

SOIL INFORMATION TABLE					
SYMBOL	NAME	HYDROLOGIC SOIL GROUP	SLOPE (%)	HYBRIC SOIL RATING	DEPTH TO BEDROCK (IN)
UyB	URBAN LAND READINGTON COMPLEX	D	0-8	5	10-100



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EROSION & SEDIMENTATION CONTROL PLAN
 201-205 N. MAIN STREET
 SITUATED IN
 NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
 PREPARED FOR
DONNA MENDEL
 114 N. MAIN STREET
 NORTH WALES, PA 19454

NO.	DATE	DESCRIPTION	INITIALS

DATE	07/18/2025
CADD FILE	2415760107
JOB NO	241576
DSG BY	CML
DWN BY	CML
CKD BY	JKL
SCALE	1" = 10'
DRAWER NUMBER	-
SHEET	6 OF 11 SHEETS
DRAWING NUMBER	
CJ-101	

CALL BEFORE YOU DIG
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE-STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 SERIAL NUMBER 20251832646
 1-800-242-1776

GRASS SEED MIX (SEE TABLE)

ALL AREAS WHICH ARE UNPAVED AND UNPLANTED SHALL BE CONSIDERED GRASS AREAS AND BE SEEDED WITH SPECIFIED MIXTURE, UNLESS SPECIFIED FOR SOD PLACEMENT.

THE PERMANENT AND TEMPORARY SEEDING REQUIREMENTS BELOW ARE THE MINIMUM TO WHICH THE CONTRACTOR SHALL CONFORM AND ARE IN ADDITION TO ANY ADDITIONAL REQUIREMENTS SET FORTH IN THESE SPECIFICATIONS, THE EROSION AND SEDIMENT CONTROL MANUAL (LATEST VERSION INCLUDING CORRECTIONS), AND PENNDOT PUBLICATION 408, SECTION 604.

PERMANENT SEEDING TABLE:

CONDITION	TOPSOIL (5)	LIME (1)	FERTILIZER (2)	SEED MIX & SOWING RATE (4) (% BY WEIGHT)
ROADSIDE, NON-MOWED	YES	240# PER 1,000 SQ FT	10-20-20	80% KENTUCKY 31 FESCUE 20% PENNLAWN RED FESCUE SOW 21# PER 1,000 SQ YD. MAR. THRU MAY/AUG THRU SEPT
ROADSIDE MOWED	YES	240# PER 1,000 SQ FT	10-20-20	50% KENTUCKY BLUEGRASS 30% PENNLAWN RED FESCUE 20% PENNINE PERENNIAL RYEGRASS SOW 21# PER 1,000 SQ YD. MAR. THRU MAY/AUG THRU SEPT
BANK AREAS, NON-MOWED	YES	240# PER 1,000 SQ FT	10-20-20	BIRDSFOOT TREFLOID 55% ANNUAL RYEGRASS SOW 9# PER 1,000 SQ YD ANYTIME EXCEPT SEPT THRU OCT
LAWNS	YES	240# PER 1,000 SQ FT	10-20-20	80% TURF TYPE FESCUE (3) 20% PENNINE PERENNIAL RYEGRASS SOW 52# PER 1,000 SQ YD MAR THRU MAY/AUG THRU SEPT
FIELDS AND PASTURE, NON-CULTIVATED	NO	NO	10-20-20	100% TIMOTHY SOW 9# PER 1,000 SQ YD MAR THRU MAY/AUG THRU SEPT
FIELDS, CULTIVATED	NO	NO	10-20-20	100% ANNUAL RYEGRASS SOW 9# PER 1,000 SQ YD MAR THRU MAY/AUG THRU SEPT
WOODS, SPARSE	NO	NO	10-20-20	100% RED FESCUE SOW 36#/1,000 SQ YD MAR THRU MAY/AUG THRU SEPT
WOODS, DENSE MATERIAL	NO	NO	NO	STABILIZE SOIL WITH BIODegradable NETTING AND PAPER FABRIC

TEMPORARY SEEDING TABLE:

CONDITION	TOPSOIL (5)	LIME (1)	FERTILIZER (2)	SEED MIX & SOWING RATE (4) (% BY WEIGHT)
TEMPORARY COVER MAR THRU JUNE	N/A	40# PER 1,000 SQ FT	10-20-20	35% SPRING OATS 35% ANNUAL RYEGRASS 30% KENTUCKY 31 FESCUE SOW 85# PER ACRE (17# PER 1000 SQ YD)
TEMPORARY COVER MOWED	N/A	40# PER 1,000 SQ FT	10-20-20	15% FYLKYNG KY BLUEGRASS 45% ANNUAL RYEGRASS SOW 65# PER ACRE (13# PER 1000 SQ YD)
TEMPORARY COVER NON-MOWED	N/A	40# PER 1,000 SQ FT	10-20-20	75% WINTER RYE OR WINTER WHEAT 12% ANNUAL RYEGRASS 10% KENTUCKY 31 FESCUE 3% RED TOP SOW 154# PER ACRE (31# PER 1000 SQ YD) (WINTER WHEAT OR WINTER RYE IN THE MIX = 116 LBS OR 2 BUSHELS)

NOTES:

- UNLESS LESSER RATE INDICATED BY SOILS TESTS.
- FERTILIZER SHALL BE MIN 50% ORGANIC NITROGEN, APPLY AT A RATE OF 25 POUNDS PER 1000 SQUARE FEET FOR PERMANENT RESTORATION AND 12.5 POUNDS FOR 1000 SQUARE FEET FOR TEMPORARY RESTORATION, UNLESS OTHERWISE RECOMMENDED BY THE SEED MANUFACTURER.
- TURF TYPE FESCUE SHALL BE SUPPLIED IN TWO EQUAL PARTS OF DIFFERENT SPECIES.
- SOWING RATES IN ACCORDANCE WITH SEEDING TABLE, UNLESS OTHERWISE RECOMMENDED BY SEED MANUFACTURER.
- TOPSOIL REQUIRED:**
MIN DEPTH - 6"
PH 6 - 8
ORGANIC - 2.5-4.0%
NITRATE NITROGEN - 100 LB. ACRE/MIN
PHOSPHOROUS - 200 LB. ACRE/MIN
POTASSIUM - 200 LB. ACRE/MIN

MULCHING MATERIALS

- MULCHES FOR TEMPORARY AND PERMANENT SEEDED AREAS SHALL BE ONE, OR A COMBINATION, OF THE FOLLOWING:
 - STRAW:
CURED TO LESS THAN 20% MOISTURE CONTENT BY WEIGHT. EITHER WHEAT OR OAT STRAW, FREE OF WEEDS SHOULD BE PROVIDED CONTAINING NO STEMS OF TOBACCO, SOYBEANS, OR OTHER COARSE OR WOODY MATERIAL.
 - WOOD CELLULOSE (HYDROMULCH):
CONTAINING NO GROWTH OR GERMINATION-INHIBITING SUBSTANCES. GREEN-DYED AND AIR-DRIED. PACKAGES NOT EXCEEDING 100 POUNDS.
MOISTURE CONTENT: 12% ± 3%
ORGANIC MATTER (DRY OVEN BASIS): 98.6% ± 0.2%
ASH CONTENT: 1.4% ± 0.2%
MINIMUM WATER-HOLDING CAPACITY: 1,000%
- MULCHING SHALL BE PERFORMED IN CONJUNCTION WITH SEEDING AT THE CONCLUSION OF FINISH GRADING OPERATIONS. STRAW SHALL BE PLACED UNIFORMLY IN A CONTINUOUS BLANKET AT A MINIMUM RATE OF THREE TONS PER ACRE (140 POUNDS PER 1000 SQ FT). A MECHANICAL BLOWER MAY BE USED TO APPLY MULCH MATERIAL PROVIDED THE MACHINE HAS BEEN SPECIFICALLY DESIGNED AND APPROVED FOR THIS PURPOSE. MACHINES WHICH CUT MULCH INTO SHORT PIECES WILL NOT BE PERMITTED.
- STRAW SHALL BE ANCHORED BY THE USE OF TWINE STAKES, WIRE STAPLES, PAPER OR PLASTIC NETS, EMULSIFIED ASPHALT PROVIDED IT IS APPLIED UNIFORMLY TO THE MULCH AT A RATE OF NOT LESS THAN 31 GALLONS PER 1000 SQUARE YARDS, OR BY OTHER APPROVED METHODS. MULCH OVER TOP SOILED AREAS SHALL BE INCORPORATED INTO THE SOIL BY APPROVED EQUIPMENT.
- WHEN MULCHING BY THE ASPHALT MIX METHOD, APPLY THE MULCH BY BLOWING. SPRAY THE ASPHALT BINDER MATERIAL INTO THE MULCH AS IT LEAVES THE BLOWER. APPLY THE BINDER TO THE MULCH IN THE PROPORTION OF 1.5 TO 2.0 GALLONS PER 45 POUNDS OF MULCH. PROTECT STRUCTURES, PAVEMENTS, CURBS, AND WALLS TO PREVENT ASPHALT STAINING. ERECT WARNING SIGNS AND BARRICADES AT INTERVALS OF 50 FEET OR LESS ALONG THE PERIMETER OF THE MULCHED AREA. DO NOT SPRAY ASPHALT AND CHEMICAL MULCH BINDERS ONTO ANY AREA WITHIN 100 FEET OF A STREAM OR OTHER BODY OF WATER.
- APPLY WOOD CELLULOSE FIBER HYDRAULICALLY AT A RATE OF 47 POUNDS PER 1000 SQUARE FEET. INCORPORATE AS AN INTEGRAL PART OF THE HYDROSEED SLURRY AFTER SEED AND SOIL SUPPLEMENTS HAVE BEEN THOROUGHLY MIXED.
- POLYMERIC TACKIFIER SHOULD BE USED WITH MULCH ON SLOPES GREATER THAN 5%.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. NETTING SHOULD BE STAPLED OVER MULCH IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- THOROUGHLY WATER MULCH AND SEED BED IMMEDIATELY AFTER COMPLETION OF MULCHING. SOIL SHALL BE MOISTENED TO A DEPTH OF NOT LESS THAN 4".

SOIL RESOLUTIONS:

TOPSOIL SHALL BE FERTILIZED PRIOR TO SEEDING.
ACIDIC SOILS - TOPSOIL SHALL BE TESTED FOR PH AND LIMED TO OBTAINED A PH OF 7.0 TO 7.5.
WET SOILS - TRENCHES SHALL BE PUMPED TO KEEP THEM DRY. PUMPED WATER SHALL BE FILTERED THROUGH A SEDIMENT FILTER BAG.
WINTER GRADING - WINTER GRADING SHALL BE DONE IN A CAREFUL MANNER. EXTRA STABILIZATION METHODS MAY BE NEEDED TO STABILIZE DISTURBED EARTH UNTIL THE GROWING SEASON.

SOIL AMENDMENTS FOR PERMANENT SEEDING

SAMPLES OF EXISTING OR FURNISHED TOPSOIL SHALL BE PROVIDED BY THE CONTRACTOR FOR LABORATORY ANALYSIS. THE CONTRACTOR SHALL OBTAIN A SOIL TESTING KIT FROM THE COUNTY COOPERATIVE EXTENSION SERVICE AND FOLLOW THE INSTRUCTIONS CONTAINED THEREIN. SOIL TESTS SHALL BE MADE, SEPARATELY, FOR EACH SOURCE OF TOPSOIL. SOIL SAMPLES SHALL BE TESTED BY THE PENNSYLVANIA STATE UNIVERSITY TESTING LABORATORY OR OTHER QUALIFIED TESTING LABORATORY. SOIL TEST REPORTS SHALL BE SUBMITTED TO BUREAU OF SOIL AND WATER CONSERVATION, (COUNTY CONSERVATION INSTITUTION).

THE CONTRACTOR SHALL CONDITION THE SOIL AS RECOMMENDED BY THE TESTING LABORATORY PRIOR TO SEEDING OR SODDING.
GROUND LIMESTONE AND FERTILIZER MIX MAY BE MODIFIED AND APPLIED AT THE RATE RECOMMENDED BY THE TEST ANALYSIS PERFORMED ABOVE.

MINIMUM STANDARD FOR LIMESTONE AND FERTILIZER (IF A SOIL TEST IS NOT PERFORMED) LIMESTONE SHALL BE APPLIED AT THE RATE OF 6 TONS PER ACRE. FERTILIZER SHALL BE APPLIED AT THE RATE OF 1000 POUNDS OF 10-20-20 TO THE ACRE.

TOPSOIL REQUIRED

MIN DEPTH - 6"
PH 6 - 8
ORGANIC - 2.5-4.0%
NITRATE NITROGEN - 100 LB. ACRE/MIN
PHOSPHOROUS - 200 LB. ACRE/MIN
POTASSIUM - 200 LB. ACRE/MIN

SOIL AMENDMENTS FOR TEMPORARY SEEDING

APPLY AGRICULTURAL-GRADE LIMESTONE AT THE RATE OF 800 POUNDS PER 1,000 S.Y. PLUS FERTILIZER AT THE RATE OF 140 POUNDS PER 1,000 S.Y. AND WORK IN WHERE POSSIBLE. AFTER SEEDING, MULCH WITH HAY OR STRAW.

UTILITY LINE TRENCH EXCAVATION:

- GENERAL - EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE USUALLY LOCATED AT LOWER ELEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITES, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. THE MOST IMPORTANT EROSION AND SEDIMENT POLLUTION CONTROL CONSIDERATION FOR TRENCH CONSTRUCTION IS THE LIMITING AND SPECIFIC SCHEDULING OF WORK ACTIVITIES.
- CONSTRUCTION REQUIREMENTS -
 - LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
 - WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILL BEGINS. ALL WATER MUST BE PUMPED THROUGH A SEDIMENTATION BASIN/SILT BAG.
 - ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO ORIGINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
 - WETLAND AREAS SHALL BE MARKED SO AS NOT TO BE DISTURBED. EQUIPMENT AND MATERIALS MAY NOT BE STORED WITHIN WETLAND AREAS.
 - ALL EXCAVATED TRENCH MATERIAL SHOULD BE LOCATED ON THE UPHILL SIDE OF THE TRENCH WHEREVER APPLICABLE.
- EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURE ARE INSTALLED. IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 2 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

PA E&S MANUAL - STANDARD E&S PLAN NOTES:

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S Bmps SPECIFIED BY THE Bmp SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS 14-00-01444-00-9 & 14-00-01448-00-5 ONTO SCHOOL STREET.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT Bmps SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT Bmps AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RETENING MUST BE PERFORMED IMMEDIATELY, IF THE E&S Bmps FAIL TO PERFORM AS EXPECTED, REPLACEMENT Bmps, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S Bmps WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM Bmps SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES --- 6 TO 12 INCHES ON COMPACTED SOILS --- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL SLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S Bmps SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER Bmp APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S Bmps.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT Bmps MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT Bmps. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE Bmps SHALL BE STABILIZED IMMEDIATELY, IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S Bmps, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S Bmps MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE NOTES:

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.

- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE NON-BEOM-ORIGIN MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.


- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL.

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM <HTTP://WWW.PACODE.COM>.

FOR FURTHER DETAIL, PLEASE REFER TO SOIL MANAGEMENT PLAN BY PENNONI ASSOCIATES, INC. DATED DECEMBER 20, 2019.

- WITH THE EXCEPTION OF SITES ENROLLED IN DEP'S LAND RECYCLING AND ENVIRONMENTAL REMEDIATION STANDARDS (ACT 2) PROGRAM, ALL FILL MATERIAL EXCAVATED AND USED ON-SITE, IMPORTED TO THE SITE, AND EXPORTED FROM THE SITE, MUST MEET THE DEFINITION OF CLEAN FILL, AS DEFINED IN THIS PERMIT. REGULATED FILL MAY ONLY BE USED ON ACT 2 SITES, IN ACCORDANCE WITH STANDARDS ESTABLISHED BY THAT PROGRAM.
- THE PERMITTEE SHALL CONDUCT ENVIRONMENTAL DUE DILIGENCE TO VERIFY THAT FILL EXCAVATED ON-SITE THAT IS USED TO ESTABLISH FINAL GRADE, FILL IMPORTED TO THE PROJECT SITE, AND FILL EXPORTED FROM THE PROJECT SITE IS CONSIDERED CLEAN FILL. IF DUE DILIGENCE RESULTS IN EVIDENCE OF A RELEASE, AS DEFINED IN DEP'S MANAGEMENT OF FILL POLICY (285-2182-773), THAT HAS AFFECTED THE FILL MATERIAL, THE PERMITTEE SHALL TEST THE MATERIAL TO DETERMINE WHETHER THE MATERIAL QUALIFIES AS CLEAN FILL, AND FORM FP-001 (CERTIFICATION OF CLEAN FILL) MUST BE COMPLETED, RETAINED BY THE PERMITTEE OR THE PROPERTY OWNER ON-SITE, AND BE MADE AVAILABLE TO DEP/PWD UPON REQUEST.
- IN THE EVENT THAT FILL EXCAVATED ON-SITE THAT IS USED TO ESTABLISH FINAL GRADE, FILL IMPORTED TO THE PROJECT SITE, OR FILL EXPORTED FROM THE PROJECT SITE IS FOUND TO BE REGULATED FILL DURING THE TERM OF PERMIT COVERAGE, WHERE THE UTILIZATION OF THE REGULATED FILL WILL REQUIRE A PERMIT FROM DEP'S WASTE MANAGEMENT PROGRAM, EARTH DISTURBANCE ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT THE PERMITTEE OBTAINS ALL NECESSARY PERMITS OR APPROVALS FROM DEP, INCLUDING NEW NPDES PERMIT COVERAGE.
- IF THE PERMITTEE BECOMES AWARE DURING EARTH DISTURBANCE ACTIVITIES THAT SOILS IN THE AREA OF EARTH DISTURBANCE CONTAIN CONCENTRATIONS OF REGULATED SUBSTANCES EXCEEDING THE RESIDENTIAL MEDIUM-SPECIFIC CONCENTRATIONS FOR SOIL IN 25 PA. CODE CHAPTER 250, THE PERMITTEE SHALL NOTIFY DEP/CDD IN ACCORDANCE WITH PART A I1D OF THIS PERMIT AND CEASE EARTH DISTURBANCE ACTIVITIES IN AREAS OF KNOWN SOIL CONTAMINATION UNTIL AUTHORIZED TO RESUME BY DEP.
- IF THE PERMITTEE ENCOUNTERS GROUNDWATER DURING EXCAVATION THAT THE PERMITTEE KNOWS OR HAS REASON TO BELIEVE IS CONTAMINATED BY ONE OR MORE POLLUTANTS AT CONCENTRATIONS EXCEEDING WATER QUALITY CRITERIA CONTAINED IN 25 PA. CODE CHAPTER 93, THE PERMITTEE SHALL NOTIFY DEP IN ACCORDANCE WITH PART A I1D OF THIS PERMIT. CONTAMINATED GROUNDWATER MAY NOT BE PUMPED OR OTHERWISE DIVERTED TO SURFACE WATERS UNLESS SPECIFICALLY AUTHORIZED BY DEP.

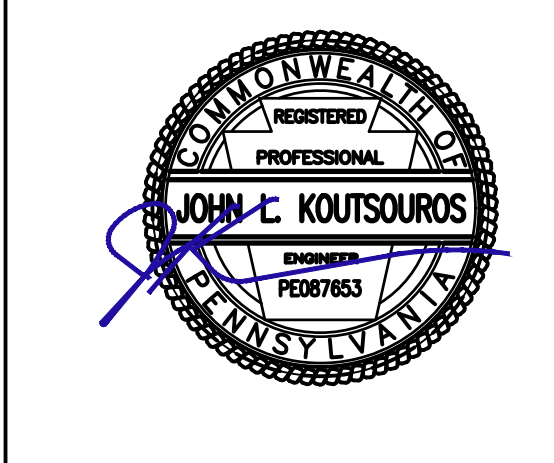


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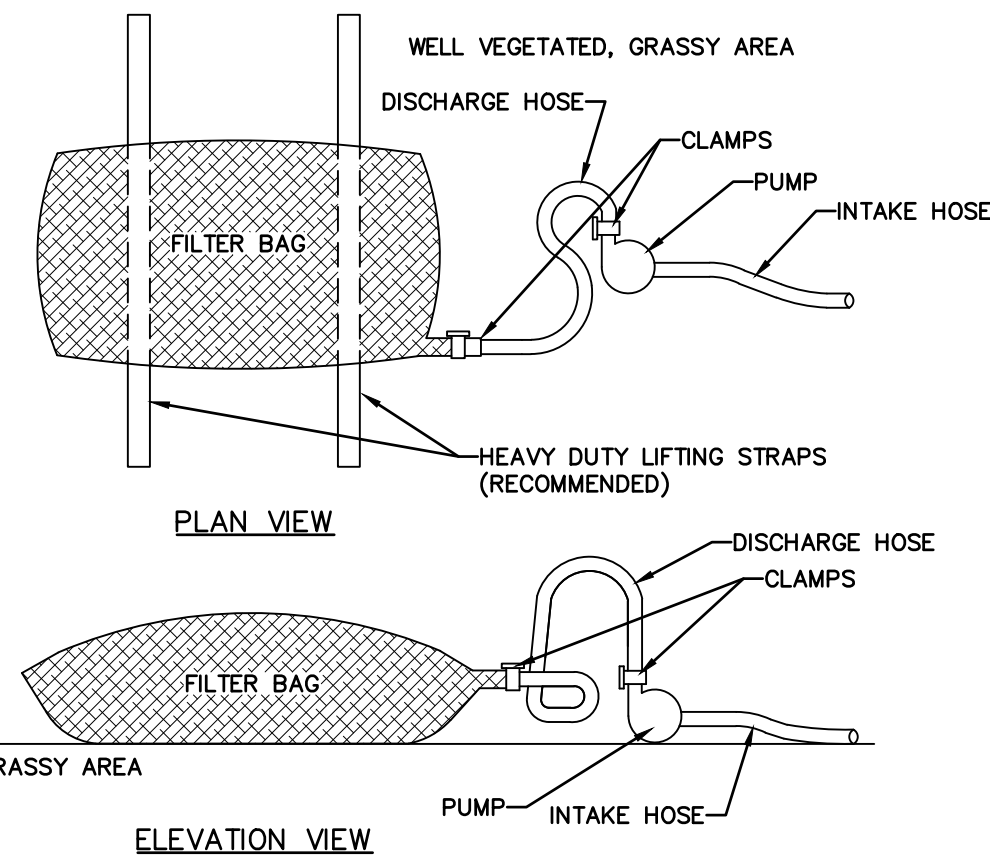
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EROSION & SEDIMENTATION CONTROL NOTES
 201-205 N. MAIN STREET
 SITUATED IN
 NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
 PREPARED FOR
 DONNA MENDEL
 114 N. MAIN STREET
 NORTH WALES, PA 19454

DATE	07/18/2025
CADD FILE	2415760108
JOB NO	241576
DSG BY	CML
DWN BY	CML
CKD BY	JKL
SCALE	
DRAWER NUMBER	-
SHEET	7 OF 11 SHEETS
DRAWING NUMBER CJ-501	



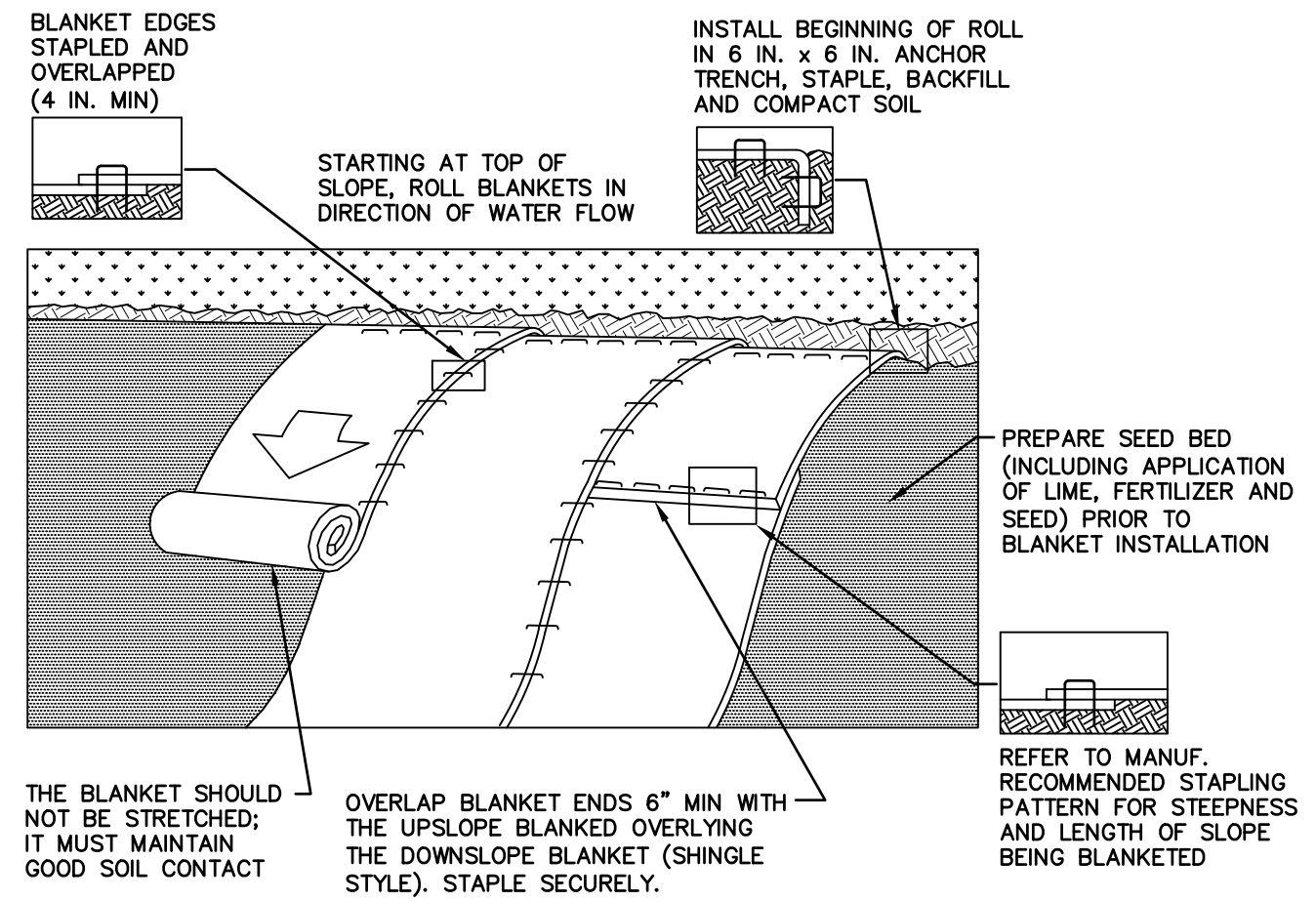
NOTES:

- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG

NTS STANDARD DETAIL 3-16

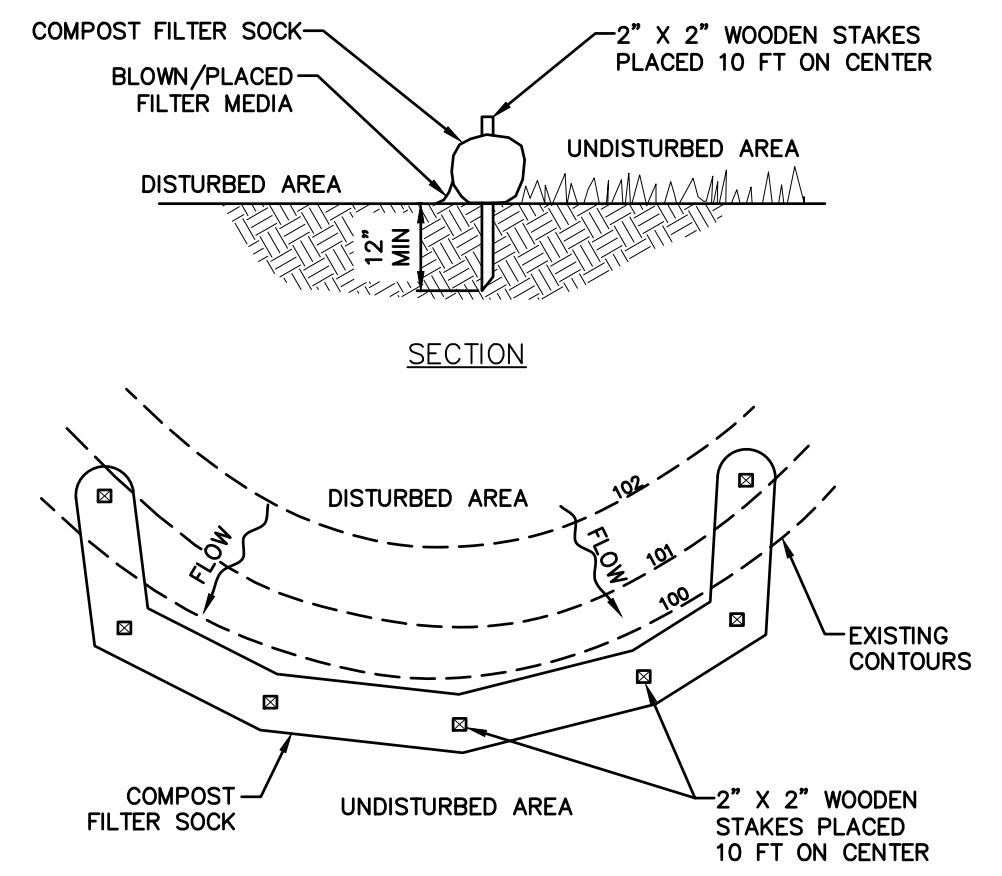


NOTES:

- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

EROSION CONTROL BLANKET INSTALLATION

NTS STANDARD DETAIL 11-01

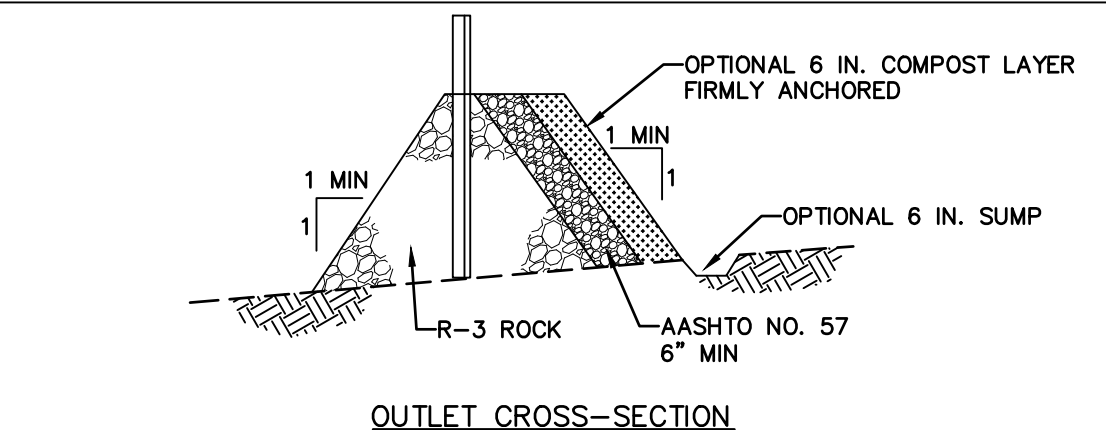


NOTES:

- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK

NTS STANDARD DETAIL 4-01

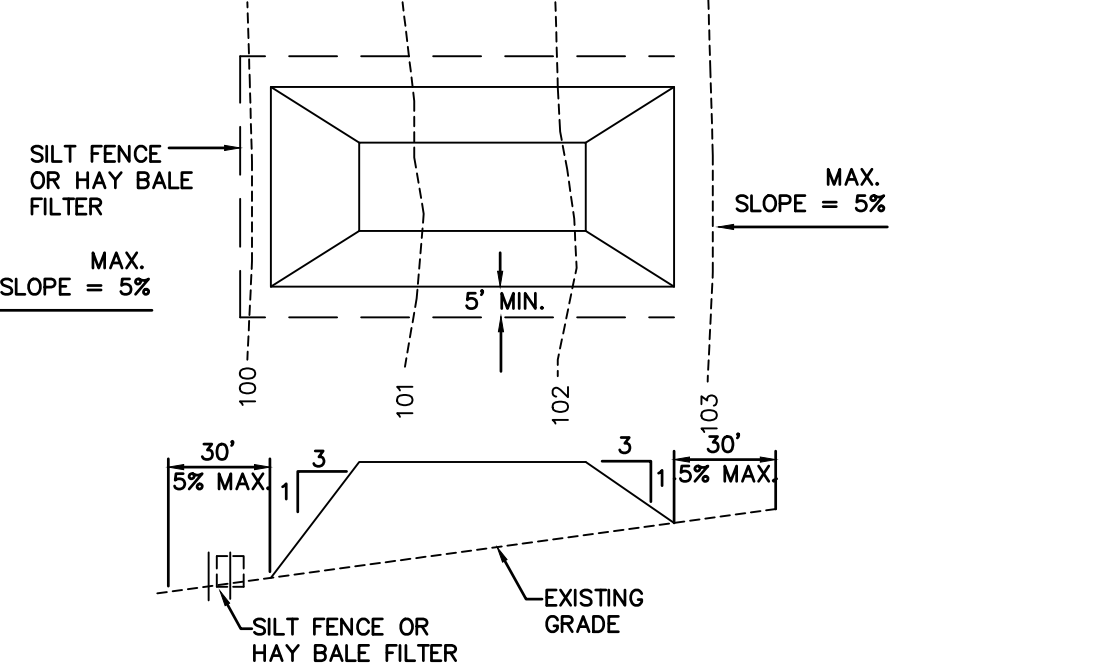


ROCK FILTER OUTLETS

NTS STANDARD DETAIL 4-06

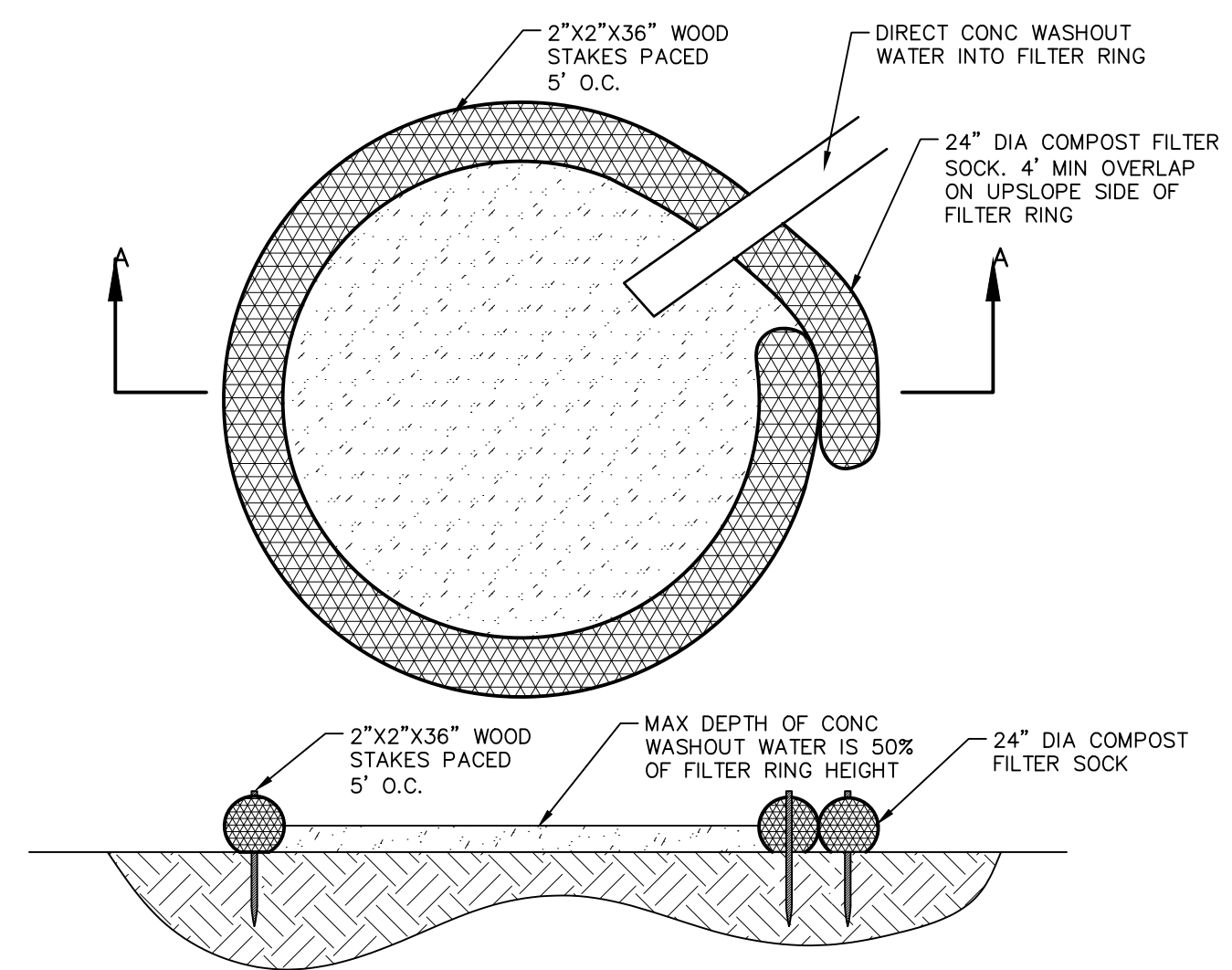
NOTES:

- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



TOPSOIL STOCKPILE

- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
- STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIRED.
- COMPOST FILTER SOCK, SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.

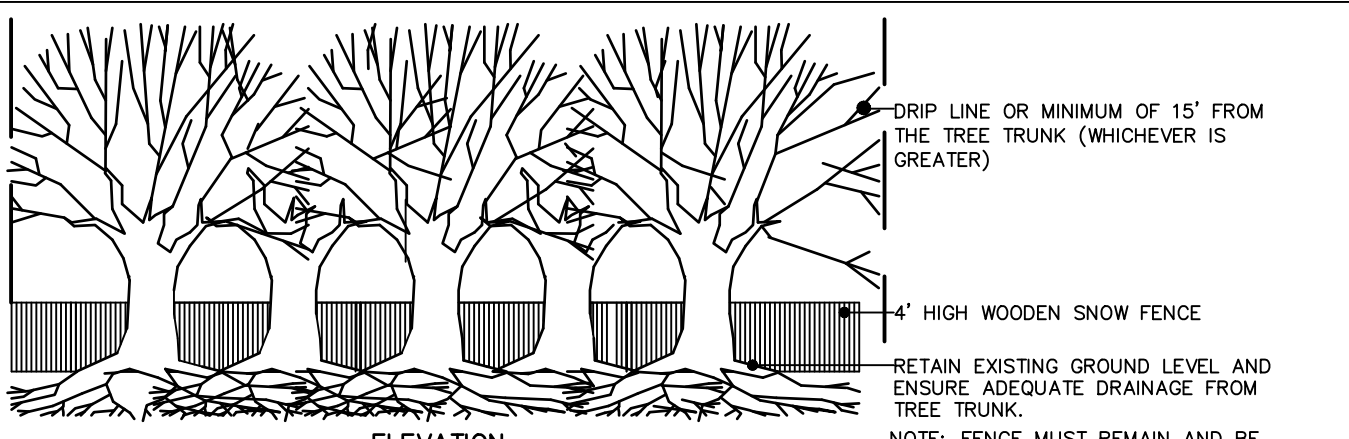


NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

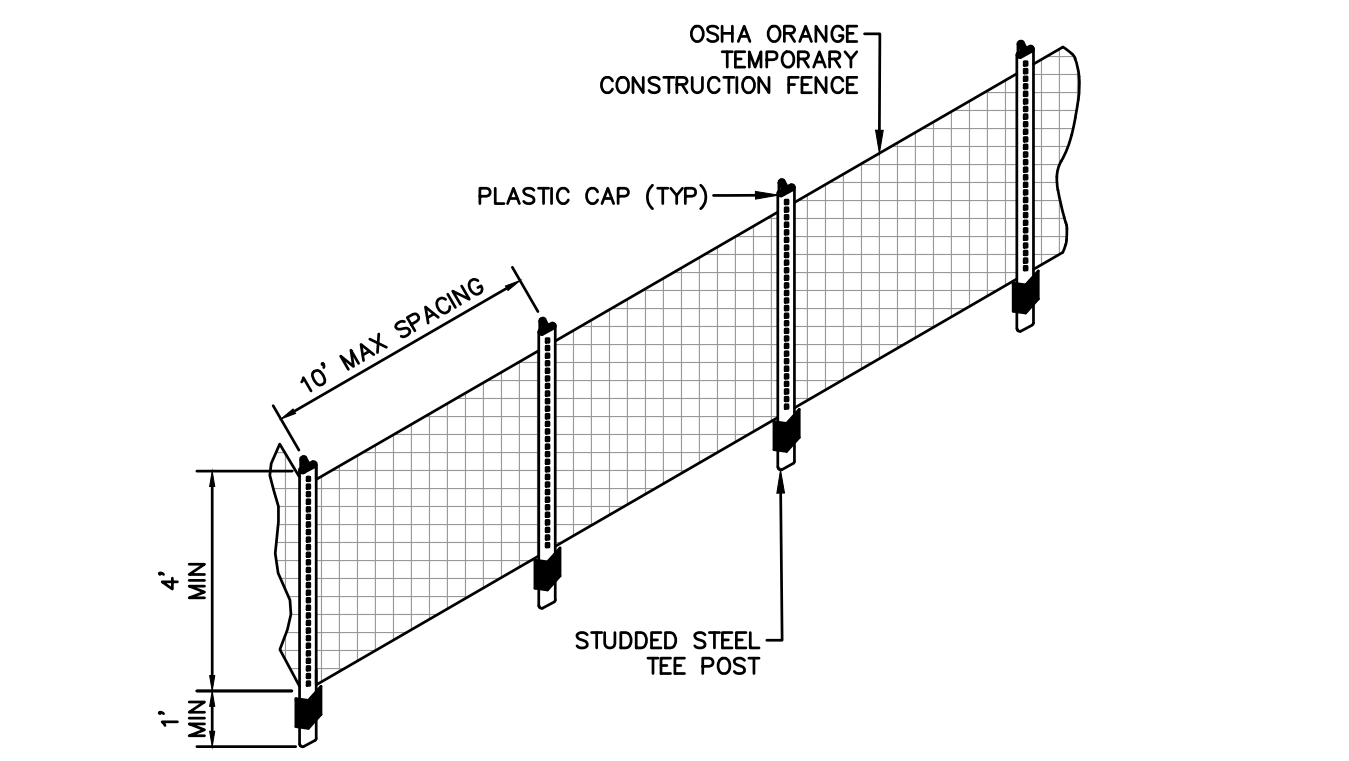
TYPICAL COMPOST SOCK WASHOUT INSTALLATION

NTS STANDARD DETAIL 3-18



TREE PROTECTION DETAIL

NTS

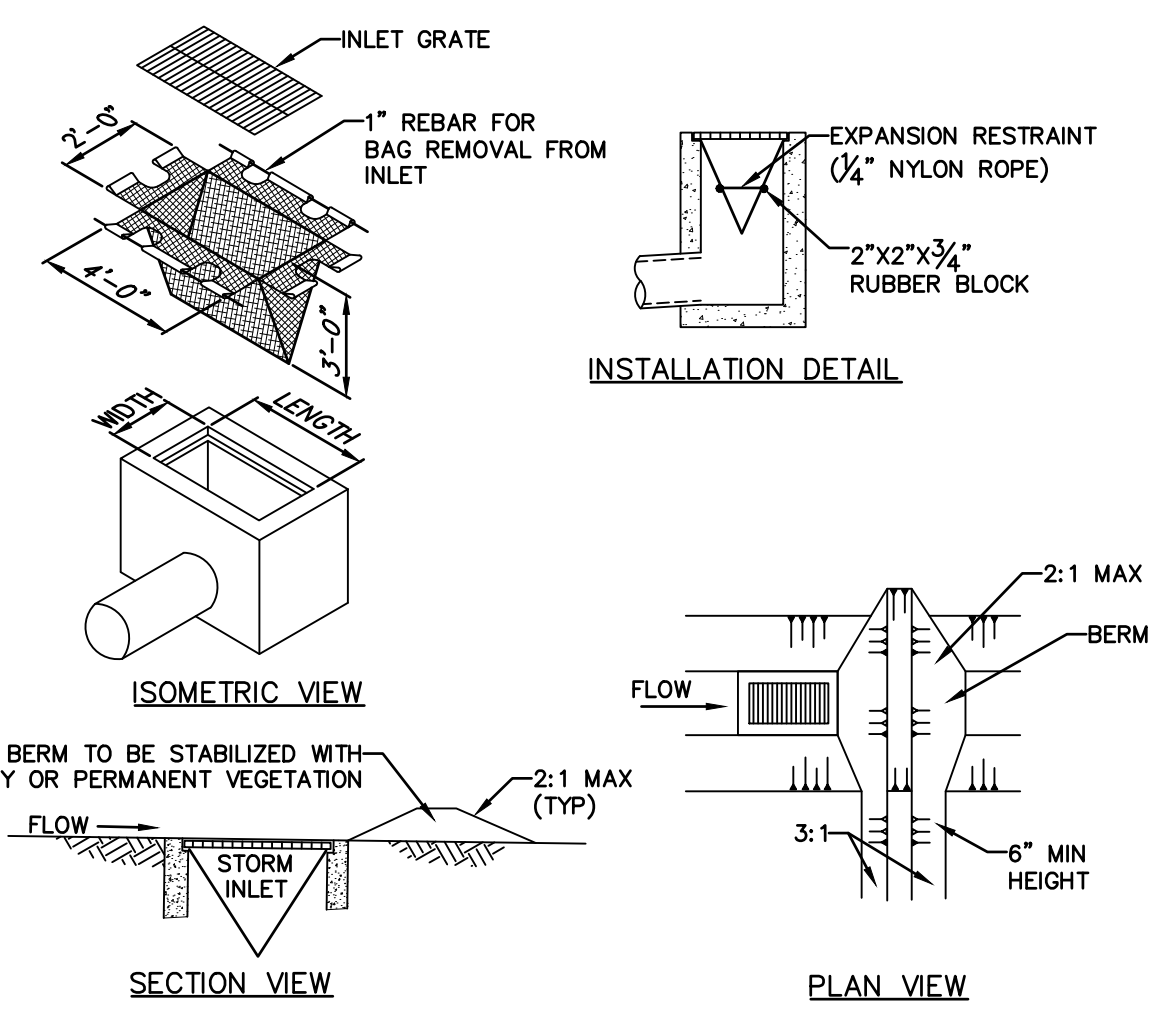


INSTALLATION NOTES:

- SEE PLAN FOR LOCATION OF FENCE WHICH SHALL GENERALLY ENCOMPASS THE WORK AREA.
- CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
- CONSTRUCTION FENCE SHALL BE COMPOSED OF OSHA ORANGE CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH.
- METAL POSTS SHOULD BE FITTED WITH PLASTIC END CAPS FOLLOWING INSTALLATION.
- STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
- CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

ORANGE CONSTRUCTION FENCING

NTS

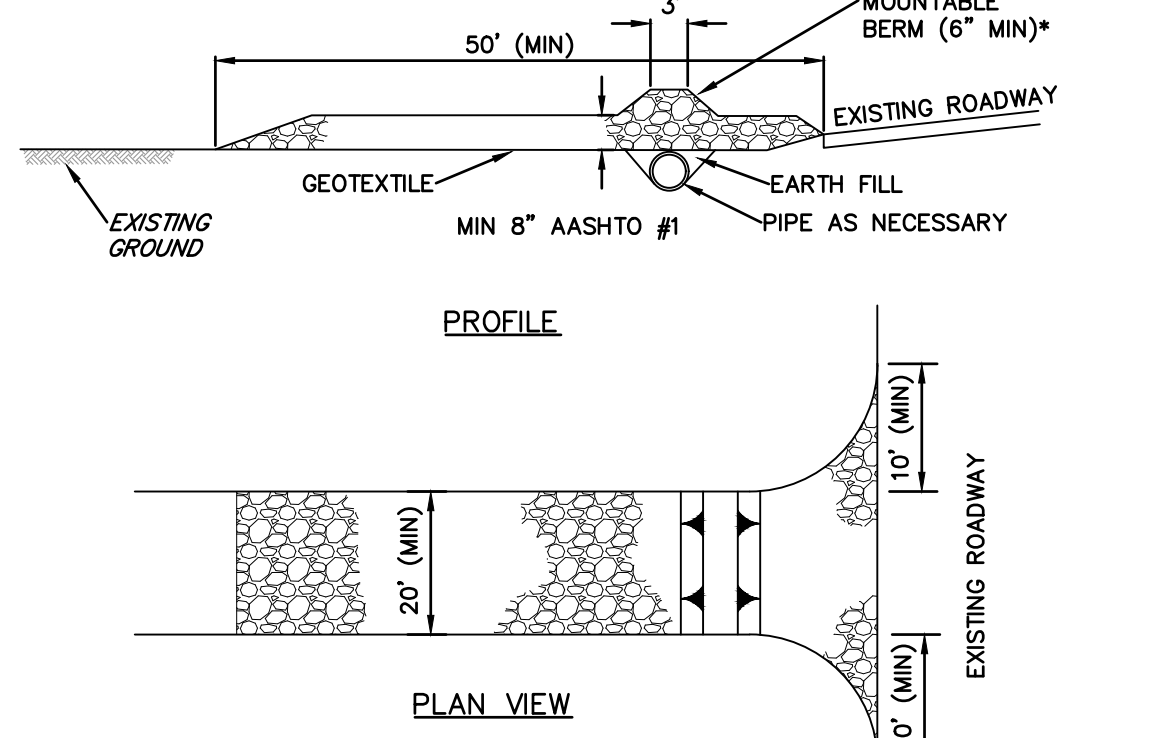


NOTES:

- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

FILTER BAG INLET PROTECTION-TYPE M INLET

NTS STANDARD DETAIL 4-16



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK COVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCES

NTS STANDARD DETAIL 3-01

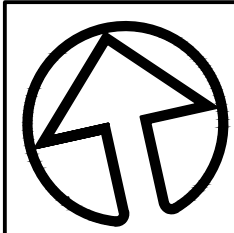
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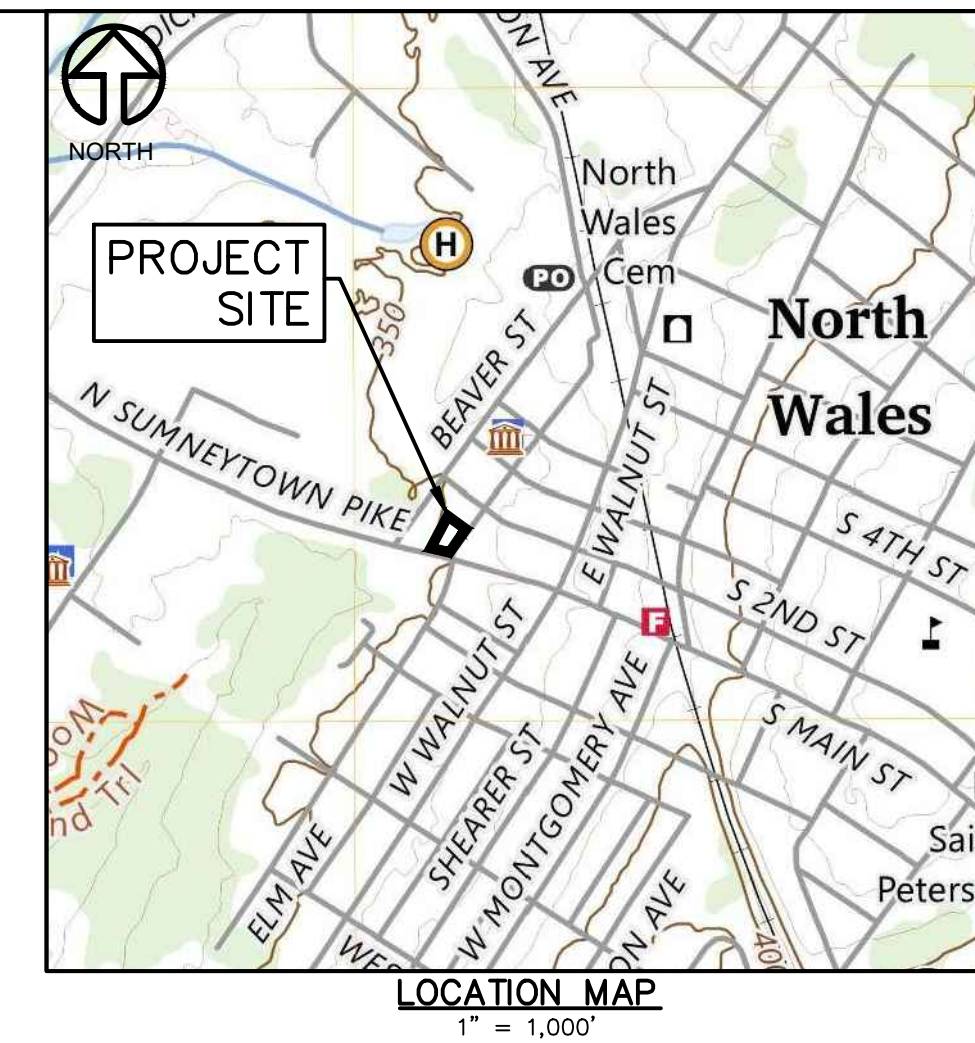
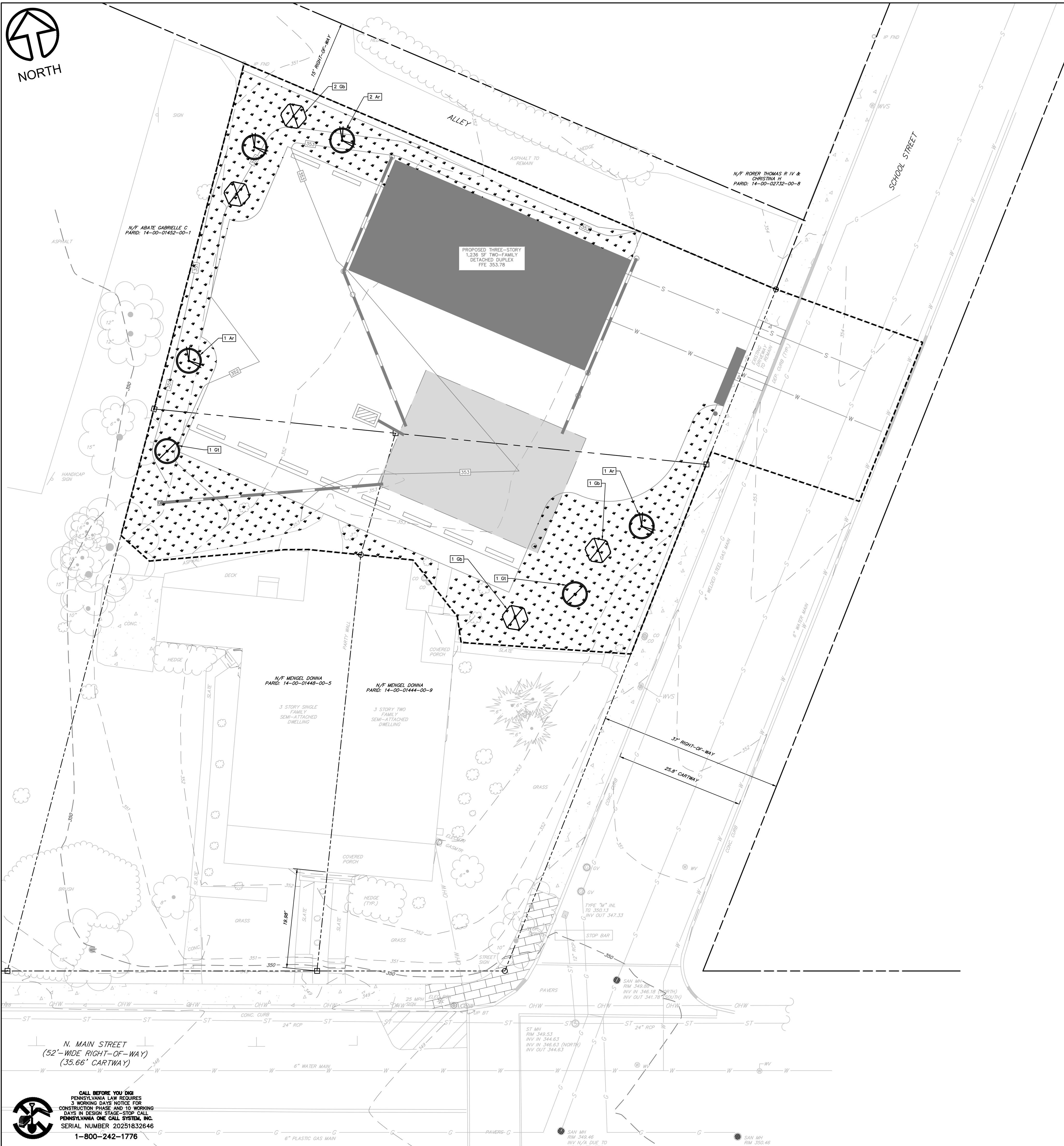
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CKD BY	JLK
SCALE	
DRAWER NUMBER	
SHEET	8 OF 11 SHEETS
DRAWING NUMBER	CJ-502



NORTH



LOCATION MAP
1" = 1,000'

LEGEND

- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- OHW EXISTING OVERHEAD WIRE
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- 350 EXISTING MAJOR CONTOUR
- 351 EXISTING MINOR CONTOUR
- (Symbol) EXISTING STORM MANHOLE
- (Symbol) EXISTING SANITARY MANHOLE
- (Symbol) EXISTING WATER VALVE
- (Symbol) EXISTING UTILITY POLE
- (Symbol) EXISTING CLEANOUT
- (Symbol) EXISTING LIGHT
- EXISTING VEGETATION
- EXISTING BRICK
- EXISTING CONCRETE
- PROPOSED PROPERTY LINE
- PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SEEPAGE PIT
- PROJECT LIMIT OF DISTURBANCE
- PROPOSED TREES
- PROPOSED GRASS

LANDSCAPE CALCULATIONS

PARKING LOT LANDSCAPE BUFFERS (#208-61-0)

PERMETER PLANTING
ONE SHADE OR CANOPY TREE SHALL BE REQUIRED FOR EVERY 40 FEET OF PERMETER SURROUNDING THE PARKING AREA, INCLUDING THE LENGTH OF ANY ACCESS DRIVEWAYS(S).

PARKING LOT PERMETER: 226 FT
REQUIRED TREES: 6 SHADE OR CANOPY TREES
PROVIDED TREES: 6 TREES

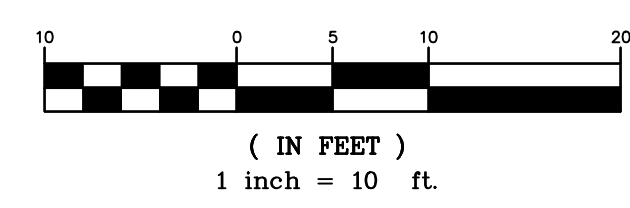
REPLACEMENT TREES (#184-25-5)

ONE OR MORE TREES WHOSE TOTAL TRUNK DIAMETER (MEASURED BY CALIPER AS NURSERY STOCK), IN THE AGGREGATE, EQUALS ONE TIMES THE TOTAL INCHES IN DBH OF THE TREE(S) REMOVED. EACH SUCH REPLACEMENT TREE SHALL BE NOT LESS THAN 2 1/2 INCHES IN CALIPER AT THE TIME OF PLANTING.

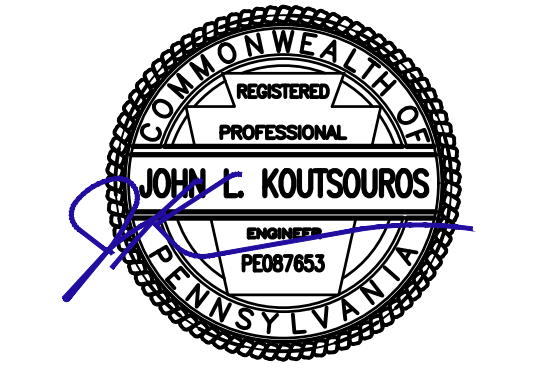
TOTAL CALIPER OF TREES TO BE REMOVED: 8 INCHES
TOTAL REPLACEMENT TREE CALIPER PROVIDED: 10 INCHES

PLANT NAME SCIENTIFIC/COMMON		KEY	QUANTITY	SIZE	CONT.	HEIGHT
PARKING LOT TREES						
ACER RUBRUM (RED MAPLE)	Ar	2	2.5" CALIPER MIN.	CONT. OR B & B	12-14'	
GINKGO BILOBA (GINKGO)	Gb	2	2.5" CALIPER MIN.	B&B	14'	
GLEDTISIA TRIACANTHOS (THORNLESS HONEY LOCUST)	Gt	2	2.5" CALIPER MIN.	CONT. OR B & B	14'	
REPLACEMENT TREES						
ACER RUBRUM (RED MAPLE)	Ar	2	2.5" CALIPER MIN.	CONT. OR B & B	12-14'	
GINKGO BILOBA (GINKGO)	Gb	2	2.5" CALIPER MIN.	B&B	14'	

GRAPHIC SCALE



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 Phone: 610.489.5100 Phone: 610.909.4940
 www.carrollengineering.com



LANDSCAPE PLAN

201-205 N. MAIN STREET
 SITUATED IN
 NORTH WALES BOROUGH, MONTGOMERY COUNTY, PENNSYLVANIA
 PREPARED FOR
 DONNA MENDEL
 114 N. MAIN STREET
 NORTH WALES, PA 19454

C:\Users\jcarroll\Documents\241576_00_CAD\Drawings\241576011.dwg

CALL BEFORE YOU DIG
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE- STOP CALL
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 SERIAL NUMBER 20251832646
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NO.	DATE	DESCRIPTION
DATE	07/18/2025	
CADD FILE	241576011	
JOB NO	241576	
DSG BY	CML	
DWN BY	CML	
CKD BY	JLK	
SCALE	1" = 10'	
DRAWER NUMBER	-	
SHEET	9	OF 11 SHEETS
DRAWING NUMBER	LL-101	

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

NEIL K. MAKHIJA, CHAIR
JAMILA H. WINDER, VICE CHAIR
THOMAS DIBELLO, COMMISSIONER

WWW.MONTGOMERYCOUNTYPA.GOV



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY • PO Box 311
NORRISTOWN, PA 19404-0311

610-278-3722
PLANNING@MONTGOMERYCOUNTYPA.GOV

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

August 12, 2025

Ms. Christine A. Hart, Borough Manager
Borough of North Wales
300 School Street
North Wales, Pennsylvania 19454

Re: MCPC #25-0156-001
Plan Name: 201-205 N. Main Street
(2 lots comprising 17,682 square feet)
Situates: School Street/north of North Main Street
North Wales Borough

Dear Ms. Hart:

We have reviewed the above-referenced subdivision and land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on July 29, 2025. We forward this letter as a report of our review.

BACKGROUND

Donna Mengel, the applicant, has submitted an application that provides for the subdivision of two existing lots into three lots, with the third lot proposed for the development of a two-family detached home. The two existing lots, Parcels 14-00-01448-00-5 and 14-00-01444-00-9, are each developed with a single-family semi-detached home that share a common party wall. The proposed third lot will be created by subdividing off the rear portion of each existing lot, with the new lot fronting on School Street. A shared parking area will be redeveloped with 10 parking spaces to serve all existing and proposed dwelling units. The properties are located in the Commercial Business District. The applicant has received approval of several necessary zoning variances related to the proposed subdivision and land development.

COMPREHENSIVE PLAN COMPLIANCE

MONTCO 2040: A SHARED VISION (2015; AMENDED 2021)

The proposal is generally consistent with Montgomery County's Comprehensive Plan *Montco 2040: A Shared Vision*. The future land use designation of this area of the borough is a town residential area, which "are traditional residential areas that are oriented towards pedestrians more than automobiles. These



areas have a variety of housing types that are often mingled within blocks or small neighborhoods.” Furthermore, the plan states that “Residential development should match the character and type of housing found in the immediate neighborhood. New homes should be built to an established front yard setback along the street. Roof lines, window locations and patterns, building mass, building form, and building height should reflect existing designs found in the neighborhood. Buildings should be small in scale. Parking should be located to the rear of buildings, with access through alleys or driveways on the side of properties.” The submitted site plan generally meets these recommendations for residential development in a town residential area.

NORTH WALES BOROUGH 2040 (2019)

The proposal would further the implementation strategy of “Meet[ing] housing needs of current and future residents by preserving housing stock and allowing for appropriate infill development” that was included as a key policy of the borough’s 2019 comprehensive plan *North Wales Borough 2040*. The proposed infill development of a two-family detached dwelling is consistent with the immediate neighborhood.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant’s proposal; however, in the course of our review we have identified the following issues related to vehicular access that the applicant and North Wales Borough may wish to discuss prior to final plan approval.

REVIEW COMMENTS

VEHICULAR ACCESS

- A. Section 208-61.E.(1) of the North Wales Borough Zoning Ordinance states that “Access to off-street parking and loading areas shall be provided via an existing alley wherever feasible.” Although the applicant intends to reconstruct an existing driveway apron, MCPC recommends that the applicant and borough discuss the feasibility of providing access to the parking area via the unnamed alley and abandon the driveway on School Street. Maintaining sidewalks that are uninterrupted by curb cuts can improve pedestrian safety, as there are less locations where vehicle-pedestrian conflict can occur. It is worth noting that the properties immediately to the west of the site utilize the unnamed alley for access to their parking facilities.
- B. Section 208-61.E.(4)(a)[1] of the North Wales Borough Zoning Ordinance states “Each driveway apron or curb cut shall be no more than 12 feet in width at the curblines” when associated with a single-family attached dwelling, single-family detached dwelling, or use single-family semi-detached dwelling located in any zoning district. Although the applicant intends to reuse existing driveway access and the parking area is shared among multiple dwelling units, it is recommended that the borough and applicant discuss if a conforming driveway width would provide adequate access to the parking area.
- C. Where shared access driveways are proposed, Section 208-61.E.(5)(b) of the North Wales Borough Zoning Ordinance requires that “Access easements and maintenance agreements or other suitable legal mechanisms shall be provided, which shall be reviewed and approved by the Borough Engineer and

Borough Solicitor.” It is not clear from the submission if such documentation has been provided to the borough. If not, the borough may wish to request such documentation from the applicant for review and approval in accordance with this section prior to final plat approval.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant’s proposal; however, we believe that our suggested revisions will better achieve the borough’s planning objectives for residential infill development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (#25-0156-001) on any plans submitted for final recording.

Sincerely,

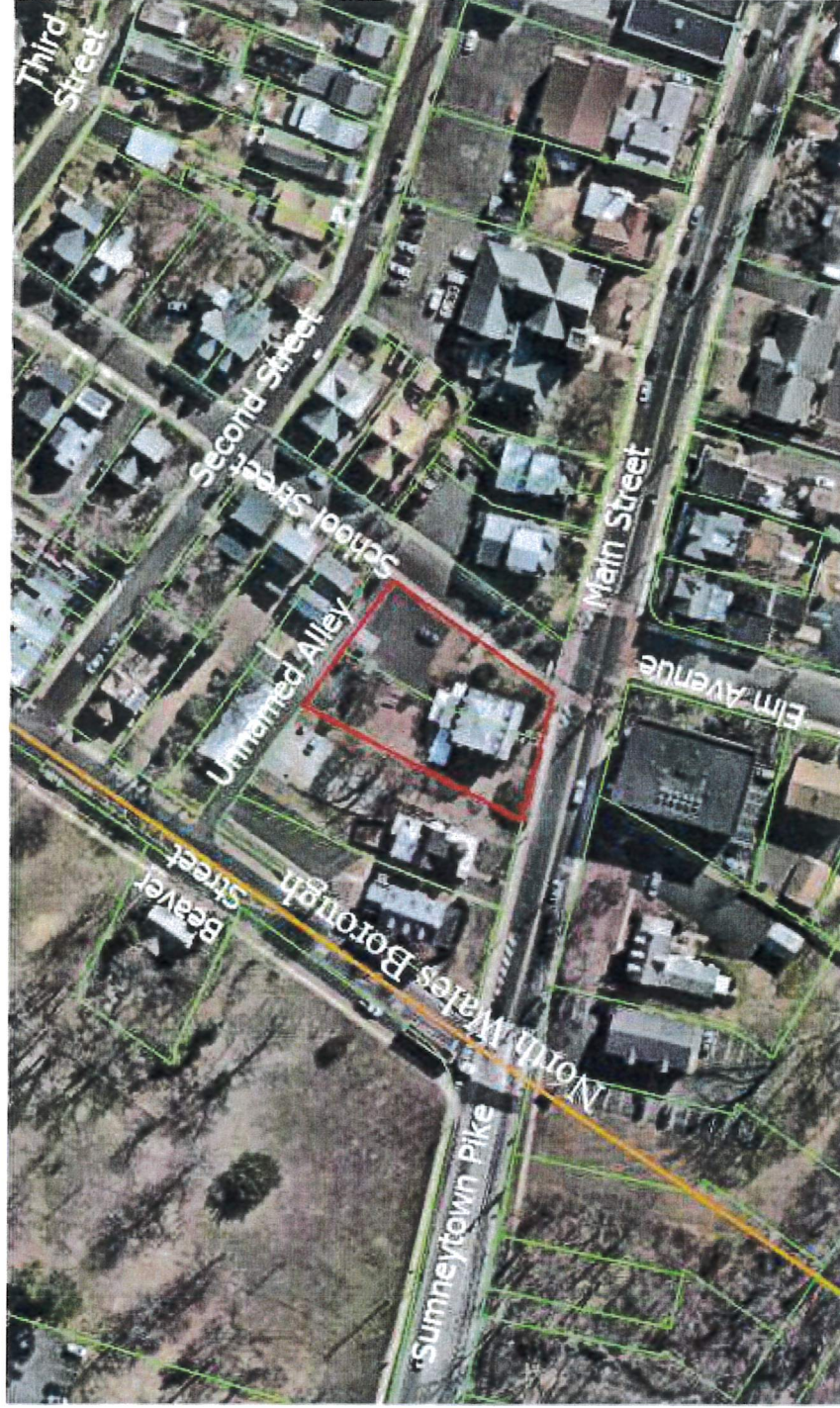


Timothy Konetchy, Senior Community Planner
610-292-4918 — timothy.konetchy@montgomerycountypa.gov

c: Donna Mengal, Applicant
John Koutsouros, PE, Carroll Engineering
Christine A. Hart, Borough Manager
Gregory Gifford, Borough Solicitor
Stephen Giampaolo, PE, Borough Engineer
Jessica Buck, District Manager, M CCD

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant’s Proposed Site Plan

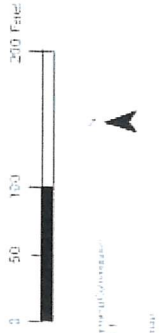


201-205 North Main Street
MCPC#2250156001

Montgomery
County
Planning
Commission

Montgomery County, 200 North 10th Street, Harrisburg, PA 17102
Phone: 717-765-3300
www.montgomerycountypa.gov

Montgomery County Planning Commission - Not for Scale





July 22, 2025

North Wales Borough
300 School Street
North Wales, PA 19454

Subject: 201-205 N. Main Street – Preliminary/Final Land Development Submission – Waiver Request Letter

To Whom It May Concern:

On behalf of *Donna Mengel*, Carroll Engineering Corporation is hereby requesting the following waivers from the Borough Ordinances:

1. A waiver is being requested from § 184-33-C-1 of the Subdivision and Land Development Ordinance to allow a 400-foot aerial map to show existing information within 400 feet of the subject property.
2. A waiver is being requested from § 184-33 of the Subdivision and Land Development Ordinance to combine the preliminary and final subdivision submissions into a singular final minor subdivision submission.
3. A waiver is being requested from § 184-26-f(1) of the Subdivision and Land Development Ordinance to allow no screen buffer adjacent to the parking lot.

Should you have any questions or require additional information, please feel free to contact this office.

Very truly yours,

CARROLL ENGINEERING CORPORATION

A handwritten signature in blue ink, appearing to read 'JK', with a long horizontal flourish extending to the right.

John L. Koutsouros, P.E.
Vice President
Planning & Site Design Department Manager

JLK/CML:mem

Today's Commitment to Tomorrow's Challenges

Corporate Office: 949 Easton Road Warrington, PA 18976 215.343.5700	630 Freedom Business Center Third Floor King of Prussia, PA 19406 610.572.7093	433 Lancaster Avenue Suite 200 Malvern, PA 19355 610.489.5100	101 Larry Holmes Drive Suite 201 Easton, PA 18042 610.989.4940	105 Raider Boulevard Suite 206 Hillsborough, NJ 08844 908.874.7500
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BOROUGH OF NORTH WALES

300 School Street, North Wales, PA 19454
Phone: 215-699-4424 • Fax: 215-699-3991
<http://northwalesborough.org>

MEMORANDUM

DATE: September 03, 2025

TO: North Wales Borough Administration
cc: Christine Hart, Borough Manager
Planning Commission
Borough Council

FROM: Greg D'Angelo, Planning Commission Chair

SUBJECT: 201-205 N Main Street Subdivision and Land Development Application
Applicant: Donna Mengel

The North Wales Borough Planning Commission Meeting of September 3, 2025, was conducted in person at North Wales Borough Hall. The 2025 meeting schedule was duly advertised in the Reporter. Four of five members of the Planning Commission -- Gregory J. D'Angelo (chair), Jocelyn Tenney (Secretary), Lillian Higgins, and Star Little -- were in attendance; Mark Tarlecki (Vice Chair) was absent. Tim Konetchy, Senior Planner with Montgomery County Planning Commission, was also in attendance as the borough's planning consultant.

Donna Mengel, the property owner, attended the meeting of the North Wales Borough Planning Commission to present their application. The applicant's engineer, John Koutsouros, P.E., presented the application on behalf of the applicant. Mr. Koutsouros explained the site design and responded to questions from the Planning Commission. He then responded to the comments contained in the Borough Engineer's Review Letter (dated August 22, 2025) and the review letter from Montgomery County Planning Commission (dated August 12, 2025).

Following due deliberation, the North Wales Borough Planning Commission made the following motions for the North Wales Borough Council's consideration:

1. The Planning Commission voted to recommend approval of requested waivers #1 (regarding § 184-33-C-1) and #3 (regarding § 184-26-f(1)), as requested in the July 22, 2025 letter from John Koutsouros, P.E., Vice President of Carroll Engineering Corporation. Star Little made the motion, which was seconded by Jocelyn Tenney. Motion passed unanimously (4-0-0).

2. The Planning Commission voted to remain neutral on requested waiver #2 (regarding § 184-33, to allow combined preliminary and final review/approval) as requested in the July 22, 2025 letter from John Koutsouros, P.E., Vice President of Carroll Engineering Corporation. Star Little made the motion, which was seconded by Jocelyn Tenney. Motion passed unanimously (4-0-0).

3. The Planning Commission voted to recommend approval of the preliminary subdivision and land development plan and, in the event that Borough Council grants requested waiver #2, the final subdivision and land development plan. Star Little made the motion, which was seconded by Lillian Higgins. Motion passed unanimously (4-0-0).

Submitted,
Jocelyn Tenney, Secretary

August 22, 2025

Christine A. Hart, Borough Manager
North Wales Borough
300 School Street
North Wales, PA 19454

RE: **Donna Mengel – 201 & 205 North Main Street
Final Minor Subdivision Plan – First Review**
North Wales Borough, Montgomery County, PA
McMahon Project No. 313745-01-001

Dear Ms. Hart:

Pursuant to the Borough's request, Bowman has conducted our first review of the above reference Final Minor Subdivision Plan Application for compliance with applicable sections of the Borough's Zoning, Subdivision/Land Development, and Stormwater Management Ordinances. Our office is in receipt of the following documents:

- 1) Subdivision and Land Development Application.
- 2) Waiver Requests Letter, dated July 22, 2025.
- 3) North Wales Borough Zoning Hearing Decision and Order, dated June 19, 2025.
- 4) Final Minor Subdivision Plans consisting of eleven (11) plan sheets titled "Final Minor Subdivision Plans for 201-205 N. Main Street", prepared by Carroll Engineering Corporation, dated July 18, 2025.

Overview

The existing properties (Parcel IDs 14-00-01448-00-5 and 14-00-01444-00-9) are 9,136.9 square feet and 8,545.5 square feet, respectively and are located on the northeast corner of the intersection of N. Main Street and School Street/W. Elm Avenue. The existing properties are located within the CBD Commercial Business Zoning District and consist of an existing two-family semi-attached, three-story dwellings with an asphalt driveway and rear parking area. The existing dwelling is served by public water and sewer.

The applicant is proposing to subdivide the existing properties into three (3) lots. Parcel ID 14-00-01448-00-5 will be reduced to 5,993.4 square feet and Parcel ID 14-00-01444-00-9 will be reduced to 5,532.3 square feet and these lots will contain the existing two-unit duplex home. The proposed new lot will have a lot area of 6,156.7 square feet, a proposed three-story two-family dwelling, with access to School Street via the existing site driveway. The proposed dwelling will be serviced by public water and sewer facilities.

Zoning Comments

1. On June 19, 2025, the following Variances were granted by the Zoning Hearing Board:
 - a. Section 208-38: The applicant will be permitted to construct a two-family detached dwelling unit on the property within the CBD Commercial Business Zoning District.

2. As per Section 208-61.E(4), the width of the curb cut for the proposed driveway to the shared parking area is shown as approximately 25 feet and should be reduced to 24 feet with a separation between the curb cut for the alley.
3. As per Section 208-61.E(5)(b), the applicant proposes a blanket parking, access, and stormwater management easement to provide cross access to parking and stormwater management facilities for all three properties. This easement agreement should be reviewed by the Borough Solicitor.

Subdivision and Land Development Ordinance Comments

1. As per Section 184-6, construction and installation of roadway improvements, stormwater facilities, utilities and other amenities are subject to inspection by the Borough during construction.
2. As per Section 184-8, widened portions of existing rights-of-way intended for public use shall be dedicated to the Borough. The existing right-of-way is 52 feet along N. Main Street and 37 feet along School Street. The applicant should provide a 25-foot half-width ultimate right-of-way along School Street to meet the Borough's requirements. The Borough needs to decide if they want to accept the offering of this additional right-of-way.
3. The plans propose to maintain the existing sidewalk along the School Street site frontage of the new lot. However, this section of the existing sidewalk is deteriorating, especially in the vicinity of the existing depressed curb. We recommend installation of a new five-foot wide ADA compliant sidewalk and curbing along School Street from the end of the paver sidewalk in the vicinity of N Main Street to the end of the depressed curb on the north side of the adjacent alley north of the proposed home.
4. As per Section 184-9.B, all construction and materials shall be in accordance with the most current PennDOT Publication 408. The asphalt pavement, curb and sidewalk details and notes on the plans need to be revised accordingly.
5. As per Section 184-10.D.1, Provide driveway profiles and spot elevations on the grading plan for the proposed driveway to demonstrate proper slope of the driveway. The slope should not exceed a 4% grade within 20 feet of the right-of-way line.

In addition, the proposed condition creates a sidewalk area through the alley and proposed driveway adjacent to curb. Therefore, the sidewalk design and installation shall be completed as a PennDOT Type 3A Driveway Apron in accordance with PennDOT RC-67 sheet 12 of 14 (dated February 19, 2021). The "sidewalk driveway apron area" is defined as the sidewalk area adjacent to the depressed curb for driveways, including curb that is transitioning from full reveal curb to fully depressed curb. Do not exceed a 2.00% sidewalk cross slope. Do not exceed an algebraic grade difference of 8.00% between the sidewalk and the roadway, or the sidewalk and the driveway. Do not exceed a sidewalk longitudinal slope of 8.33% along the curb height transition, unless the length of that transition exceeds 15 feet. Omit cheek walls when adjacent to non-walking surfaces that can be graded at 3:1 (H:V) or flatter.

6. As per Section 184-14, the plans include a Grading Plan. The grading plan needs to address the following:
 - a. Provide additional spot elevations and grades to demonstrate that the proposed sidewalk and sidewalk through the alley and driveway areas along School Street is ADA compliant.
7. As per Section 184-15, All stormwater management and drainage facilities shall be designed to comply with the provisions of Act 167. The applicant is proposing the installation of one (1) primary BMP facility to manage stormwater. A Stormwater Management Report was not provided for review. Refer to the Stormwater Management Ordinance comments.
8. As per Section 184-18, the applicant provided an Erosion and Sedimentation Control Plan. The plan needs to address the following:
 - a. Indicate on the plan where the pumped water filter bag will be placed if required.
 - b. The driveway subbase for the proposed driveway shall be installed after the dwelling is built and the rock construction entrance is removed.
 - c. Adjust the limit of disturbance line and permitter erosion and sediment control measures to accommodate the curb and sidewalk installation along the frontage of the property.
9. As per Section 184-20, the applicant needs to show all proposed utility services (water and gas) on the plan. All electric, telephone, and communication services shall be provided by underground cables.
10. As per Section 184-21.A and 22.A, all public water and sewer lateral connections must be reviewed and approved by the North Wales Water Authority.
11. As per Section 184-26.F(1), the applicant is requesting a waiver to allow no screening buffer adjacent to the parking lot. The applicant needs to provide a written response to why a screening buffer cannot be provided.
12. As per Section 184-29, the North Wales Water Authority shall review the plans and may recommend additional requirements.
13. As per Section 184-33, the applicant is asking for a waiver combining the preliminary and final submission into a single final minor subdivision submission. Our office has no objection to this waiver.
14. As per Section 184-33.C, the applicant is asking for a waiver on providing existing and proposed features within 400 feet of any part of the land being subdivided must be shown. The plan includes an aerial photo in lieu of this requirement. Our office has no objection to this waiver.

Stormwater Management Ordinance Comments

- 1) The proposed development has a proposed impervious surface of greater than 1,000 SF and less than 5,000 SF and an earth disturbance of between 5,000 SF and 1 acre. Therefore, the proposed development is not exempt from a stormwater management site plan, groundwater recharge and water volume control. However, the development is exempt from peak rate control.
- 2) Provide a breakdown of the impervious calculations for all three lots including roof, driveway, walkway and sidewalk areas. Show areas on plan view.
- 3) The applicant is proposing one (1) primary BMP for the proposed development. The facility will consist of a 25 foot by 35 foot subsurface dry well/seepage pit located at the southeast corner of the proposed parking lot. The roof drains from the front and back of the proposed dwelling will be connected to the subsurface BMP. In addition, there is a proposed Type M Inlet within the parking lot that will collect runoff from the front portion of the proposed parking lot. The runoff from the proposed back portion of the parking lot will flow off site towards the Abate Gabrielle property. The driveway in front of the proposed dwelling will flow into the curb gutter of School Street.
 - b. Roof gutter guards should be installed to prevent leaves and other debris from clogging the proposed dry well/seepage pit.
 - c. The proposed Type M Inlet should be relocated to align with the back of the proposed dwelling to capture additional runoff from the parking lot. As a result, less runoff will flow onto the Abate Gabrielle property.
 - d. Provide a pipe calculation for the proposed outflow pipe from the Type M Inlet.
 - e. The three inflow pipes should be connected as a network within the dry well to better distribute the water. The proposed perforations should begin 12" from the outer edge of the dry well. Revise current details and provide additional details accordingly.
- 4) The applicant should submit a Stormwater Management Report including pre and post development drainage area maps and site runoff calculations. A narrative should be included describing the runoff from the site to the alley, School Street and adjacent properties for the pre and post development drainage conditions.
- 5) The applicant has not conducted infiltration testing at the location of the proposed primary BMP or at other locations within the property. As per Section 180-23, the applicant needs to demonstrate how much runoff can be infiltrated to recharge the proposed impervious surfaces.
- 6) The applicant is proposing to install a pop-up emitter for the proposed overflow pipe. To ensure that there will not be any future maintenance issues, the applicant should consider utilizing level spreader in lieu of the emitter. Provide a future maintenance evaluation for both and include in the Stormwater Management Report.

- 7) The drain basins should be increased to 12" for future maintenance concerns.
- 8) The applicant needs to explore installing amended soils for the grass areas along the alley and adjacent to the Abate Gabrielle property to promote additional infiltration.
- 9) As per Sections 180-31.A and 180-34, the applicant shall provide a financial guarantee and an Operation and Maintenance Agreement to Borough for the construction of the proposed stormwater management facilities.
- 10) The Borough Engineer will need to inspect the installation of all proposed permanent BMPs during construction.

Streets and Sidewalk Ordinance Comments

- 1) The proposed permanent pavement section should consist of 1.5 inches of 9.5 MM Mix of wearing course (SRL-H), 2.5 inches of 19 MM Mix of binder course and 4 inches of 25 MM Mix of base course over 6 inches of 2A stone. Paving courses shall be SAMD HMA meeting PG 64-22 in accordance with current PennDOT Publication 408 asphalt specifications.
- 2) The same pavement section shall be utilized for the trench restoration detail for paved areas for the sewer and water line connections along School Street in accordance with current PennDOT Publication 408 asphalt specifications.
- 3) All sidewalk installation shall be ADA compliant in accordance with all applicable federal and state guidelines.
- 4) All proposed curb, sidewalk and driveways shall be in accordance with the material and construction standards listed in Section 181 and PennDOT Publication 408, Section 630 and 676. In addition, the sidewalk driveway apron area is to consist of Cement Concrete Sidewalk (6" thick) reinforced with W4 or W4.5 welded wire fabric centered vertically within the concrete, over compacted Subbase, No. 2A (6" depth), per PennDOT RC-67 sheet 11 of 14 (dated February 19, 2021).
- 5) Provide additional details on the plans based on these comments.

Sewers and Sewerage Disposal Ordinance Comments

- 1) As per Section 171, obtain all necessary approvals and permits for the connection to the sanitary sewer system.

General Comments

- 1) The proposed parking area should provide the appropriate number of handicap parking spaces to meet the current ADA requirements.

- 2) The proposed driveway location will result in awkward vehicle circulation and potential vehicle conflicts on the east side of the proposed home. As such, we recommend shifting the proposed driveway to the south to align with the proposed parking aisle. This design will provide for better vehicle circulation, better separation between the existing alley and the driveway, and reduce the amount of impervious area on the site.

This concludes our first review of the above referenced Preliminary/Final Minor Subdivision Plan Application. Based on the comments in this letter, additional comments may be generated after review of the applicant's response to the current comments. If you have any questions or require additional information, please feel free to contact me at (610) 594-9995.

Sincerely,



Stephen C. Giampaolo, P.E.
Regional Service Leader

Q:\PA-EXTO-MC\mcm\eng\NORTHWA1\314536 - 201-205 N Main Street Minor Subdivision\Reviews\2025-08-22 Review\Review\2025-08-22 Review No. 1_201-205 N Main Street.docx



October 22, 2025

Christine A. Hart, Borough Manager
North Wales Borough
300 School Street
North Wales, PA 19454

Subject: Donna Mengel – 201 & 205 North Main Street Final Minor Subdivision Plan – First Review

Dear Ms. Hart,

Carroll Engineering Corporation (CEC) is in receipt of Bowman’s review letter dated August 22, 2025. The following are our responses (*in italic*) to comments/recommendations:

Zoning Comments

1. On June 19, 2025, the following Variances were granted by the Zoning Hearing Board:
 - a. Section 208-38: The applicant will be permitted to construct a two-family detached dwelling unit on the property within the CBD Commercial Business Zoning District.
Noted
2. As per Section 208-61.E(4), the width of the curb cut for the proposed driveway to the shared parking area is shown as approximately 25 feet and should be reduced to 24 feet with a separation between the curb cut for the alley.
As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, the driveway will be relocated to align with the proposed drive aisle.
3. As per Section 208-61.E(5)(b), the applicant proposes a blanket parking, access, and stormwater management easement to provide cross access to parking and stormwater management facilities for all three properties. This easement agreement should be reviewed by the Borough Solicitor.
Noted

Subdivision and Land Development Ordinance Comments

1. As per Section 184-6, construction and installation of roadway improvements, stormwater facilities, utilities and other amenities are subject to inspection by the Borough during construction.
Noted

Today’s Commitment to Tomorrow’s Challenges

Corporate Office: 949 Easton Road Warrington, PA 18976 215.343.5700	630 Freedom Business Center Third Floor King of Prussia, PA 19406 610.572.7093	433 Lancaster Avenue Suite 200 Malvern, PA 19355 610.489.5100	101 Larry Holmes Drive Suite 201 Easton, PA 18042 610.989.4940	105 Raider Boulevard Suite 206 Hillsborough, NJ 08844 908.874.7500
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2. As per Section 184-8, widened portions of existing rights-of-way intended for public use shall be dedicated to the Borough. The existing right-of-way is 52 feet along N. Main Street and 37 feet along School Street. The applicant should provide a 25-foot half-width ultimate right-of-way along School Street to meet the Borough's requirements. The Borough needs to decide if they want to accept the offering of this additional right-of-way.

As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, the Borough will most likely not be accepting this; however, Council will ultimately decide/vote on the above comment.

3. The plans propose to maintain the existing sidewalk along the School Street site frontage of the new lot. However, this section of the existing sidewalk is deteriorating, especially in the vicinity of the existing depressed curb. We recommend installation of a new five-foot wide ADA compliant sidewalk and curbing along School Street from the end of the paver sidewalk in the vicinity of N Main Street to the end of the depressed curb on the north side of the adjacent alley north of the proposed home.

As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, the agreed-upon curb and sidewalk installation was reduced to along the frontage where the work is being done. Regarding the alley areas, our applicant prefers to replace the deteriorated southernmost sidewalk tile in the alley and leave the remaining alley driveway in its existing condition.

4. As per Section 184-9.B, all construction and materials shall be in accordance with the most current PennDOT Publication 408. The asphalt pavement, curb and sidewalk details and notes on the plans need to be revised accordingly.

Noted

5. As per Section 184-10.D.1, Provide driveway profiles and spot elevations on the grading plan for the proposed driveway to demonstrate proper slope of the driveway. The slope should not exceed a 4% grade within 20 feet of the right-of-way line.

In addition, the proposed condition creates a sidewalk area through the alley and proposed driveway adjacent to curb. Therefore, the sidewalk design and installation shall be completed as a PennDOT Type 3A Driveway Apron in accordance with PennDOT RC-67 sheet 12 of 14 (dated February 19, 2021). The "sidewalk driveway apron area" is defined as the sidewalk area adjacent to the depressed curb for driveways, including curb that is transitioning from full reveal curb to fully depressed curb. Do not exceed a 2.00% sidewalk cross slope. Do not exceed an algebraic grade difference of 8.00% between the sidewalk and the roadway, or the sidewalk and the driveway. Do not exceed a sidewalk longitudinal slope of 8.33% along the curb height transition, unless the length of that transition exceeds 15 feet. Omit cheek walls when adjacent to non-walking surfaces that can be graded at 3:1 (H:V) or flatter.

As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, a driveway profile will not be required, but additional spot grades will be provided to demonstrate the proper slope of the driveway.

6. As per Section 184-14, the plans include a Grading Plan. The grading plan needs to address the following:
 - a. Provide additional spot elevations and grades to demonstrate that the proposed sidewalk and sidewalk through the alley and driveway areas along School Street is ADA compliant.
As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, additional spot grades will be provided for the agreed-upon curb and sidewalk installation. Regarding the alley areas, see response #3 above.
7. As per Section 184-15, All stormwater management and drainage facilities shall be designed to comply with the provisions of Act 167. The applicant is proposing the installation of one (1) primary BMP facility to manage stormwater. A Stormwater Management Report was not provided for review. Refer to the Stormwater Management Ordinance comments.
Noted
8. As per Section 184-18, the applicant provided an Erosion and Sedimentation Control Plan. The plan needs to address the following:
 - a. Indicate on the plan where the pumped water filter bag will be placed if required.
Will-comply.
 - b. The driveway subbase for the proposed driveway shall be installed after the dwelling is built and the rock construction entrance is removed.
Will-comply.
 - c. Adjust the limit of disturbance line and permitter erosion and sediment control measures to accommodate the curb and sidewalk installation along the frontage of the property.
As mentioned in a Zoom Meeting on October 20th, 2025, at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, the limit of disturbance and permitter erosion and sediment control measures will be increased for the agreed-upon curb and sidewalk installation.
9. As per Section 184-20, the applicant needs to show all proposed utility services (water and gas) on the plan. All electric, telephone, and communication services shall be provided by underground cables.
Will-comply.
10. As per Section 184-21.A and 22.A, all public water and sewer lateral connections must be reviewed and approved by the North Wales Water Authority.
Noted

11. As per Section 184-26.F(1), the applicant is requesting a waiver to allow no screening buffer adjacent to the parking lot. The applicant needs to provide a written response to why a screening buffer cannot be provided.
Will-comply.
12. As per Section 184-29, the North Wales Water Authority shall review the plans and may recommend additional requirements.
Noted
13. As per Section 184-33, the applicant is asking for a waiver combining the preliminary and final submission into a single final minor subdivision submission. Our office has no objection to this waiver.
Noted
14. As per Section 184-33.C, the applicant is asking for a waiver on providing existing and proposed features within 400 feet of any part of the land being subdivided must be shown. The plan includes an aerial photo in lieu of this requirement. Our office has no objection to this waiver.
Noted

Stormwater Management Ordinance Comments

1. The proposed development has a proposed impervious surface of greater than 1,000 SF and less than 5,000 SF and an earth disturbance of between 5,000 SF and 1 acre. Therefore, the proposed development is not exempt from a stormwater management site plan, groundwater recharge and water volume control. However, the development is exempt from peak rate control.
Noted
2. Provide a breakdown of the impervious calculations for all three lots including roof, driveway, walkway and sidewalk areas. Show areas on plan view.
Will-comply.
3. The applicant is proposing one (1) primary BMP for the proposed development. The facility will consist of a 25 foot by 35 foot subsurface dry well/seepage pit located at the southeast corner of the proposed parking lot. The roof drains from the front and back of the proposed dwelling will be connected to the subsurface BMP. In addition, there is a proposed Type M Inlet within the parking lot that will collect runoff from the front portion of the proposed parking lot. The runoff from the proposed back portion of the parking lot will flow off site towards the Abate Gabrielle property. The driveway in front of the proposed dwelling will flow into the curb gutter of School Street.
 - b. Roof gutter guards should be installed to prevent leaves and other debris from clogging the proposed dry well/seepage pit.
As mentioned in an email from Steve Giampaolo, P.E., on October 8th, 2025, roof gutter guards do not need to be installed.

- c. The proposed Type M Inlet should be relocated to align with the back of the proposed dwelling to capture additional runoff from the parking lot. As a result, less runoff will flow onto the Abate Gabrielle property.
Will-comply.
- d. Provide a pipe calculation for the proposed outflow pipe from the Type M Inlet.
Will-comply.
- e. The three inflow pipes should be connected as a network within the dry well to better distribute the water. The proposed perforations should begin 12” from the outer edge of the dry well. Revise current details and provide additional details accordingly.
As mentioned in a Zoom Meeting on October 20th, 2025 at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart, all inflow pipes to the proposed drywell shall extend two feet into the drywell, in lieu of a connected pipe network.
4. The applicant should submit a Stormwater Management Report including pre and post development drainage area maps and site runoff calculations. A narrative should be included describing the runoff from the site to the alley, School Street and adjacent properties for the pre and post development drainage conditions.
As mentioned in a Zoom Meeting on October 20th, 2025 at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart on October 20th, 2025, a narrative and area maps will be provided upon resubmission.
5. The applicant has not conducted infiltration testing at the location of the proposed primary BMP or at other locations within the property. As per Section 180-23, the applicant needs to demonstrate how much runoff can be infiltrated to recharge the proposed impervious surfaces.
As mentioned in an email from Steve Giampaolo, P.E., on October 8th, 2025, Infiltration testing will not be required. Clean granular material (2’ depth) will be installed beneath the proposed dry well as an infiltration mitigation.
6. The applicant is proposing to install a pop-up emitter for the proposed overflow pipe. To ensure that there will not be any future maintenance issues, the applicant should consider utilizing level spreader in lieu of the emitter. Provide a future maintenance evaluation for both and include in the Stormwater Management Report.
As mentioned in a Zoom Meeting on October 20th, 2025 at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart on October 20th, 2025, maintenance of the pop-up emitter was discussed and will be included in the required O&M agreement.
7. The drain basins should be increased to 12” for future maintenance concerns.
Will-comply.

8. The applicant needs to explore installing amended soils for the grass areas along the alley and adjacent to the Abate Gabrielle property to promote additional infiltration.
As mentioned in a Zoom Meeting on October 20th, 2025 at 2 PM with John Koutsouros, P.E., Christopher Lang, P.E., Steve Giampaolo, P.E., and Christine Hart on October 20, 2025, the areas discussed below are a small area that does not receive most of the runoff. It was agreed to provide a smaller area of amended soils surrounding the proposed pop-up emitter to promote infiltration.
9. As per Sections 180-31.A and 180-34, the applicant shall provide a financial guarantee and an Operation and Maintenance Agreement to Borough for the construction of the proposed stormwater management facilities.
Will-comply.
10. The Borough Engineer will need to inspect the installation of all proposed permanent BMPs during construction.
Noted

Streets and Sidewalk Ordinance Comments

1. The proposed permanent pavement section should consist of 1.5 inches of 9.5 MM Mix of wearing course (SRL-H), 2.5 inches of 19 MM Mix of binder course and 4 inches of 25 MM Mix of base course over 6 inches of 2A stone. Paving courses shall be SAMD HMA meeting PG 64-22 in accordance with current PennDOT Publication 408 asphalt specifications.
Will-comply.
2. The same pavement section shall be utilized for the trench restoration detail for paved areas for the sewer and water line connections along School Street in accordance with current PennDOT Publication 408 asphalt specifications.
Will-comply.
3. All sidewalk installation shall be ADA compliant in accordance with all applicable federal and state guidelines.
All proposed sidewalk installation will be ADA-compliant.
4. All proposed curb, sidewalk and driveways shall be in accordance with the material and construction standards listed in Section 181 and PennDOT Publication 408, Section 630 and 676. In addition, the sidewalk driveway apron area is to consist of Cement Concrete Sidewalk (6" thick) reinforced with W4 or W4.5 welded wire fabric centered vertically within the concrete, over compacted Subbase, No. 2A (6" depth), per PennDOT RC-67 sheet 11 of 14 (dated February 19, 2021).
Will-comply.
5. Provide additional details on the plans based on these comments.
Will-comply.

Sewers and Sewerage Disposal Ordinance Comments

1. As per Section 171, obtain all necessary approvals and permits for the connection to the sanitary sewer system.
Will-comply.

General Comments

1. The proposed parking area should provide the appropriate number of handicap parking spaces to meet the current ADA requirements.
As mentioned in an email from Steve Giampaolo, P.E., on October 8th, 2025, ADA parking does not need to be provided.
2. The proposed driveway location will result in awkward vehicle circulation and potential vehicle conflicts on the east side of the proposed home. As such, we recommend shifting the proposed driveway to the south to align with the proposed parking aisle. This design will provide for better vehicle circulation, better separation between the existing alley and the driveway, and reduce the amount of impervious area on the site.
Will-comply.

Should you have any questions or require additional information, please feel free to contact this office.

Very truly yours,

CARROLL ENGINEERING CORPORATION



John L. Koutsouros, P.E., Vice President
Planning & Site Design Department Manager

JLK/CML:cam

CALENDAR FOR 2026 BUDGET

STEP	ACTION	DATE	RESPONSIBILITY
1	Prep. & Submission of Budget Calendar to Depts.	Week of September 8	Manager
2	Submission of Budget Requests to Manager	September 30, 2025	Dept. Heads
3	Department Budget Review Meetings	Ongoing	Manager
4	Finance Committee	Ongoing Reviews	Finance Committee
5	Submission of Preliminary Budget to Council	October 14, 2025	Manager
6	Finance Committee	October 23, 2025	Finance Committee
7	Budget Workshop	October 28, 2025	Borough Council
8	Approve Advertising of Budget	November 18, 2025	Borough Council
9	Posting of Proposed Budget for Public Review	November 19, 2025	Manager
10	Adoption of 2026 Budget / Approve Advertising of Tax Ordinance (<i>if needed</i>)	November 25, 2025	Borough Council
11	Advertise Notice to Adopt Tax Ordinance (<i>if needed</i>)	November 26, 2025	Manager
12	Adoption of Tax Ordinance (<i>if needed</i>)	December 16 th (<i>if needed</i>)	Borough Council

Borough of North Wales
Profit & Loss Budget vs. Actual
 January 1 through October 28, 2025

Ordinary Income/Expense	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
Income				
0130110 · REAL ESTATE TAXES-CURRENT	770,018.86	813,282.06	-43,263.20	94.7%
0130140 · R/E TAXES-DELINQUENT	9,312.32	5,000.00	4,312.32	186.2%
0130160 · REAL ESTATE TAXES-INTERIM	853.86	350.00	503.86	244.0%
0131010 · REAL ESTATE TRANSFER TAXES	43,090.60	72,500.00	-29,409.40	59.4%
0131021 · EARNED INCOME TAXES	512,302.83	525,000.00	-12,697.17	97.6%
0131041 · LOCAL SERVICES TAX	52,346.92	42,000.00	10,346.92	124.6%
0132180 · CABLE TELEVISION FRANCHISE FEES	22,830.20	50,000.00	-27,169.80	45.7%
0132191 · BUSINESS PRIVILEGE	14,300.00	15,000.00	-700.00	95.3%
0132240 · OTHER PERMITS & FEES	2,040.00	2,750.00	-710.00	74.2%
0132282 · STREET OPENINGS	200.00	1,200.00	-1,000.00	16.7%
0133110 · COURT-NON-TRAFFIC VIOLATIONS	1,846.65	3,500.00	-1,653.35	52.8%
0133111 · VEHICLE CODE VIOLATIONS	6,450.81	8,500.00	-2,049.19	75.9%
0133112 · CODE VIOLATIONS	2,950.00	750.00	2,200.00	393.3%
0134110 · INTEREST EARNINGS	12,312.90	2,500.00	9,812.90	492.5%
0134240 · PROPERTY LEASE FEES	14,699.00	15,384.00	-685.00	95.5%
0134253 · CELL TOWER FEES	4,069.20	3,600.00	469.20	113.0%
0135401 · GRANTS MISC	6,066.02	10,000.00	-3,933.98	60.7%
0135501 · PUBLIC UTILITIES	1,711.75	1,600.00	111.75	107.0%
0135504 · ALCOHOL BEVERAGE TAXES	600.00	600.00	0.00	100.0%
0135505 · PENSION ALLOCATION	83,462.86	65,096.00	18,366.86	128.2%
0135507 · FIRE INSURANCE PREMIUM TAX	24,653.33	23,500.00	1,153.33	104.9%
0135510 · STATE POLICE FINES ALLOCATION	559.37	600.00	-40.63	93.2%
0135801 · FIRE CO INSURANCE SHARED PMT	8,535.87	8,500.00	35.87	100.4%
0136104 · BENEFIT PERCENT	2,423.22	4,320.00	-1,896.78	56.1%
0136130 · LAND DEV/SUB-DIVISION	1,700.00	750.00	950.00	226.7%
0136133 · ZONING PERMITS	2,240.00	4,000.00	-1,760.00	56.0%
0136134 · ZONING HEARING FEES	3,100.00	2,250.00	850.00	137.8%
0136150 · SALE OF MAPS, BOOKS, ETC.	0.50	25.00	-24.50	2.0%
0136211 · ACCIDENT REPORT FEES	630.00	450.00	180.00	140.0%
0136214 · CROSSING GUARDS	9,471.72	9,500.00	-28.28	99.7%
0136241 · BUILDING PERMITS	9,603.36	15,500.00	-5,896.64	62.0%
0136242 · ELECTRICAL PERMITS	3,520.00	6,000.00	-2,480.00	58.7%
0136243 · PLUMBING PERMITS	2,760.00	3,000.00	-240.00	92.0%
0136244 · MECHANICAL PERMITS	5,195.00	4,000.00	1,195.00	129.9%
0136245 · USE AND OCCUPANCY PERMITS	3,100.00	4,300.00	-1,200.00	72.1%
0136246 · DUMPSTER PERMITS	240.00	400.00	-160.00	60.0%
0136247 · RENTAL REGISTRATION FEES	23,000.00	22,500.00	500.00	102.2%
0136720 · COMMUNITY CENTER FEES/ADMISSION	850.00	5,000.00	-4,150.00	17.0%
0136741 · PARK SECURITY DEPOSIT	1,200.00	1,000.00	200.00	120.0%
0138010 · MISC REVENUE GEN	5,194.77	8,000.00	-2,805.23	64.9%
0138020 · INSURANCE CLAIMS	235.00	0.00	235.00	100.0%
0138310 · STATE FEE FOR PERMITS	598.00	550.00	48.00	108.7%
0138330 · POLICE SERVICES	450.00	400.00	50.00	112.5%
0138610 · SALE OF EQUIPMENT, ETC.	0.00	250.00	-250.00	0.0%
0138710 · DONATIONS	2,500.00	100.00	2,400.00	2,500.0%

Borough of North Wales Profit & Loss Budget vs. Actual January 1 through October 28, 2025

	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
0139510 · REFUNDS-PRIOR YR EXP	11,370.09	500.00	10,870.09	2,274.0%
0230110 · R/E TAXES-CURRENT 2301100	29,896.18	31,576.14	-1,679.96	94.7%
0230140 · R/E TAXES-DELINQUENT 2301400	409.13	300.00	109.13	136.4%
0230160 · R/E TAXES-INTERIM 2301600	33.14	30.00	3.14	110.5%
0234110 · INTEREST EARNINGS 02	1,134.10	350.00	784.10	324.0%
0330110 · R/E TAXES-CURRENT 33	39,266.92	41,473.14	-2,206.22	94.7%
0330140 · R/E TAXES-DELINQUENT 33	531.82	200.00	331.82	265.9%
0330160 · R/E TAXES-INTERIM 33	43.55	10.00	33.55	435.5%
0334110 · INTEREST EARNINGS 33	135.90	235.00	-99.10	57.8%
1830110 · R/E-CURRENT 18	70,799.93	74,777.33	-3,977.40	94.7%
1830140 · R/E TAXES-DELINQUENT 18	953.34	375.00	578.34	254.2%
1830160 · R/E TAXES-INTERIM 18	78.51	30.00	48.51	261.7%
1834110 · INTEREST EARNINGS 18	4,602.15	1,250.00	3,352.15	368.2%
1934110 · INTEREST EARNINGS 19	1,172.18	750.00	422.18	156.3%
2330110 · R/E TAXES-CURRENT 23	111,553.65	117,821.43	-6,267.78	94.7%
2330140 · R/E TAXES-DELINQUENT 23	1,157.08	400.00	757.08	289.3%
2330160 · R/E TAXES-INTERIM 23	123.70	10.00	113.70	1,237.0%
2334110 · INTEREST EARNINGS 23	5,252.14	1,375.00	3,877.14	382.0%
2334220 · REVENUE FROM LEASING	36,452.78	35,750.00	702.78	102.0%
3034110 · INTEREST EARNINGS 30	68,337.56	42,000.00	26,337.56	162.7%
3035114 · TASA GRANT	0.00	770,000.00	-770,000.00	0.0%
3035115 · PANDEMIC RECOVERY GRANT	314,144.96	0.00	314,144.96	100.0%
3035416 · RACP STATE GRANT	0.00	1,000,000.00	-1,000,000.00	0.0%
3038010 · MISC REVENUE 3038010	93,952.00	0.00	93,952.00	100.0%
3234110 · INTEREST EARNINGS 32	6,841.56	1,800.00	5,041.56	380.1%
3238010 · MISC REVENUE 3238010	356,324.00	0.00	356,324.00	100.0%
3238610 · SALE OF PROPERTY	0.00	22,500.00	-22,500.00	0.0%
3534110 · INTEREST EARNINGS 35	15,575.56	3,250.00	12,325.56	479.2%
3535502 · MOTOR VEHICLE FUEL TAXES	97,810.91	95,747.84	2,063.07	102.2%
3538010 · MISC REVENUE 35	8,361.18	4,978.30	3,382.88	168.0%
4134110 · INTEREST EARNINGS 41	2,553.65	1,500.00	1,053.65	170.2%
4135112 · RECYCLING GRANT	5,816.19	6,500.00	-683.81	89.5%
4138010 · MISC REVENUE 41	710.00	780.00	-70.00	91.0%
4138710 · CONTRIBUTIONS 41	14,000.00	10,000.00	4,000.00	140.0%
4234110 · INTEREST EARNINGS 42	33.04	10.00	23.04	330.4%
4236150 · SALE OF HISTORY COMM. ITEMS	400.00	150.00	250.00	266.7%
4238010 · MISC REVENUE 42	0.00	50.00	-50.00	0.0%
4330110 · R/E TAXES-CURRENT 43	19,633.98	20,736.57	-1,102.59	94.7%
4330140 · R/E TAXES-DELINQUENT 43	268.68	225.00	43.68	119.4%
4330160 · R/E TAXES-INTERIM 43	21.76	20.00	1.76	108.8%
4334110 · INTEREST EARNINGS - 43	89.26	35.00	54.26	255.0%
4434110 · INTEREST EARNINGS 44	962.78	650.00	312.78	148.1%
9534110 · INTEREST EARNINGS 95	85,073.18	83,374.84	1,698.34	102.0%
Total Income	3,079,101.46	4,135,027.65	-1,055,926.19	74.5%
Gross Profit	3,079,101.46	4,135,027.65	-1,055,926.19	74.5%

Borough of North Wales
Profit & Loss Budget vs. Actual
 January 1 through October 28, 2025

Expense	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
0140011 · LEGISLATIVE	7,350.00	9,000.00	-1,650.00	81.7%
0140042 · DUES, SUBSCRIPTIONS, TRAINING	3,928.94	3,500.00	428.94	112.3%
0140110 · WAGES-MANAGER	82,824.00	106,087.50	-23,263.50	78.1%
0140112 · WAGES-ASST. SECRETARY	43,021.20	76,875.00	-33,853.80	56.0%
0140114 · WAGES-P/T CLERK	40,930.88	42,906.50	-1,975.62	95.4%
0140115 · WAGES-ADMIN OFFICE STAFF	17,270.30	24,744.72	-7,474.42	69.8%
0140131 · PROFESSIONAL SERVICES	15,230.76	15,000.00	230.76	101.5%
0140142 · DUES, SUBSCRIPTIONS	489.90	750.00	-260.10	65.3%
0140146 · MEETINGS, CONFERENCE, COURSES	1,156.35	1,500.00	-343.65	77.1%
0140222 · OPERATING EXPENSE	5,421.95	5,000.00	421.95	108.4%
0140231 · AUDITING SERVICES	14,619.01	22,500.00	-7,880.99	65.0%
0140237 · COMPUTER	0.00	750.00	-750.00	0.0%
0140311 · WAGES-TAX COLLECTOR	0.00	6,000.00	-6,000.00	0.0%
0140330 · OTHER SERVICES AND CHARGES	557.77	700.00	-142.23	79.7%
0140331 · BERKHEIMER COMMISSION	5,392.83	6,750.00	-1,357.17	79.9%
0140332 · POSTAGE	331.85	500.00	-168.15	66.4%
0140335 · INSURANCE AND BONDING	0.00	350.00	-350.00	0.0%
0140431 · SOLICITOR	27,300.00	36,000.00	-8,700.00	75.8%
0140436 · CODIFICATION	1,195.00	8,500.00	-7,305.00	14.1%
0140621 · OFFICE SUPPLIES	519.89	1,200.00	-680.11	43.3%
0140632 · COMMUNICATIONS-PHONE	564.61	800.00	-235.39	70.6%
0140634 · ADVERTISING	176.92	6,000.00	-5,823.08	2.9%
0140635 · POSTAGE 1406325	416.84	2,000.00	-1,583.16	20.8%
0140636 · PRINTING	123.10	750.00	-626.90	16.4%
0140637 · REPAIRS/MAINTENANCE	950.00	5,000.00	-4,050.00	19.0%
0140638 · EQUIPMENT RENTAL	512.55	675.00	-162.45	75.9%
0140831 · ENGINEER 1408313	16,523.00	50,000.00	-33,477.00	33.0%
0140922 · OPERATING EXP	1,814.92	4,000.00	-2,185.08	45.4%
0140923 · HEATING FUEL 1409230	1,811.48	10,000.00	-8,188.52	18.1%
0140935 · JANITORIAL	1,446.81	1,300.00	146.81	111.3%
0140936 · ELECTRICITY 1409361	12,982.96	15,200.00	-2,217.04	85.4%
0140937 · REPAIRS/MAINTENANCE SERVICES	3,260.13	12,500.00	-9,239.87	26.1%
0140938 · LEASE	3,007.73	3,000.00	7.73	100.3%
0140945 · CONTRACTED SRVICES	2,637.23	4,500.00	-1,862.77	58.6%
0141010 · WAGES-CHIEF	102,440.40	128,125.00	-25,684.60	80.0%
0141012 · WAGES-POLICE CLERICAL	18,431.03	29,315.00	-10,883.97	62.9%
0141013 · WAGES-CROSSING GUARDS	10,781.00	16,800.00	-6,019.00	64.2%
0141014 · WAGES-FULL TIME OFFICERS	247,329.88	402,622.81	-155,292.93	61.4%
0141015 · WAGES-P/T OFFICERS	65,871.00	70,000.00	-4,129.00	94.1%
0141016 · LONGEVITY/EDUCATION INCENTIVE	4,125.00	7,625.00	-3,500.00	54.1%
0141017 · HOLIDAY PAY	0.00	7,742.75	-7,742.75	0.0%
0141018 · OVERTIME WAGES, POLICE	37,492.79	31,000.00	6,492.79	120.9%
0141021 · OFFICE SUPPLIES, POLICE	254.36	1,500.00	-1,245.64	17.0%
0141023 · COMMUNITY POLICING	3,267.59	4,000.00	-732.41	81.7%
0141024 · OPERATING EXPENSE POLICE	3,450.39	3,000.00	450.39	115.0%
0141025 · MAINT/REPAIRS	264.37	2,100.00	-1,835.63	12.6%

Borough of North Wales
Profit & Loss Budget vs. Actual
 January 1 through October 28, 2025

	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
0141026 · MINOR EQUIPMENT, POLICE	213.91	7,000.00	-6,786.09	3.1%
0141028 · UNIFORMS, POLICE	773.47	6,000.00	-5,226.53	12.9%
0141029 · AMMO & RELATED SUPPLIES	1,207.47	5,000.00	-3,792.53	24.1%
0141031 · PROFESSIONAL SERVICES, POLICE	5,595.97	8,000.00	-2,404.03	69.9%
0141032 · COMMUNICATIONS-PHONE/RADIO	2,458.07	3,500.00	-1,041.93	70.2%
0141033 · GASOLINE, POLICE	8,232.47	12,000.00	-3,767.53	68.6%
0141034 · PRINTING, POLICE	546.58	1,000.00	-453.42	54.7%
0141037 · VEHICLE MAINT/REPAIRS	4,271.52	7,000.00	-2,728.48	61.0%
0141042 · DUES/SUBSCRIPTIONS, POLICE	595.00	1,750.00	-1,155.00	34.0%
0141044 · UNIFORM MAINTENANCE, POLICE	2,500.00	3,000.00	-500.00	83.3%
0141045 · CONTRACTED SERVICES	30,185.03	34,000.00	-3,814.97	88.8%
0141046 · TRAINING, POLICE	1,974.95	7,500.00	-5,525.05	26.3%
0141050 · EMERGENCY MGMT/MIRT/SWAT	5,500.00	5,500.00	0.00	100.0%
0141136 · HYDRANT CHARGES	9,703.00	10,000.00	-297.00	97.0%
0141153 · FIRE RELIEF	24,653.33	23,500.00	1,153.33	104.9%
0141313 · INSPECTION-CONTRACTED SERVICES	15,682.50	26,000.00	-10,317.50	60.3%
0141339 · STATE PERMIT FEES	2,860.00	3,000.00	-140.00	95.3%
0141343 · DUES, SUBSCRIPTION	125.00	350.00	-225.00	35.7%
0141431 · PROFESSIONAL SERVICES PLANNING	0.00	5,000.00	-5,000.00	0.0%
0141434 · SOLICITOR ZONING	2,684.00	6,000.00	-3,316.00	44.7%
0141435 · ADVERTISING ZONING	1,556.91	3,500.00	-1,943.09	44.5%
0141439 · COURT STENOGRAPHER	650.00	1,000.00	-350.00	65.0%
0143012 · WAGES-F/T PUBLIC WORKS	18,857.60	47,158.00	-28,300.40	40.0%
0143013 · WAGES-P/T PUBLIC WORKS	57,854.29	83,421.00	-25,566.71	69.4%
0143018 · OVERTIME WAGES 1430183	8,314.29	12,000.00	-3,685.71	69.3%
0143020 · SUPPLIES 1430200	2,335.66	2,500.00	-164.34	93.4%
0143023 · HEATING FUEL 1430230	3,472.35	3,500.00	-27.65	99.2%
0143024 · DIESEL	1,056.64	4,000.00	-2,943.36	26.4%
0143238 · UNIFORMS PUBLIC WORKS	278.79	750.00	-471.21	37.2%
0143242 · SAFETY SUPPLIES 1430242	26.59	750.00	-723.41	3.5%
0143246 · FIRE EXTINGUISHERS	0.00	750.00	-750.00	0.0%
0143260 · SUPPLIES-SMALL TOOLS	478.37	2,500.00	-2,021.63	19.1%
0143321 · COMMUNICATIONS-PHONE 143	680.51	1,300.00	-619.49	52.3%
0143361 · ELECTRICITY 1430361	1,238.99	2,000.00	-761.01	61.9%
0143365 · SOLID WASTE DISPOSAL	2,901.62	5,000.00	-2,098.38	58.0%
0143373 · BUILDING MAINTENANCE	865.86	3,500.00	-2,634.14	24.7%
0143374 · EQUIPMENT REPAIRS	141.49	2,000.00	-1,858.51	7.1%
0143375 · VEHICLE MAINT/REPAIRS 1430375	8,546.81	5,000.00	3,546.81	170.9%
0143420 · DUES, SUBSCRIPT.	0.00	300.00	-300.00	0.0%
0143437 · ELECTRICAL REPAIRS/MAINTENANCE	0.00	2,000.00	-2,000.00	0.0%
0143937 · CONSTRUCTION REPAIRS/MAINT	276.75	6,000.00	-5,723.25	4.6%
0145100 · COMMUNITY CENTER PROGRAMMING	0.00	10,000.00	-10,000.00	0.0%
0145222 · FESTIVAL DONATION	1,000.00	500.00	500.00	200.0%
0145420 · SUPPLIES-PARK	3,848.14	6,000.00	-2,151.86	64.1%
0145436 · ELECTRICITY 1459461	827.76	900.00	-72.24	92.0%
0145437 · MAINTENANCE/REPAIRS 1454374	890.75	1,500.00	-609.25	59.4%
0145445 · CONTRACTED SERVICES 14	16,515.70	32,100.00	-15,584.30	51.5%

Borough of North Wales
Profit & Loss Budget vs. Actual
 January 1 through October 28, 2025

	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
0148010 · MISCELLANEOUS BANK CHARGES	1,365.82	1,500.00	-134.18	91.1%
0148020 · MISCELLANEOUS EXPENSES	10,730.60	11,250.00	-519.40	95.4%
0148030 · PAYROLL PROCESSING FEE	4,963.54	6,890.00	-1,926.46	72.0%
0148410 · FIRE CO WORKERS COMP	14,537.00	21,500.00	-6,963.00	67.6%
0148435 · COMPENSATION INSURANCE	18,354.75	25,055.00	-6,700.25	73.3%
0148516 · UNEMPLOYMENT COMP	5,085.83	14,000.00	-8,914.17	36.3%
0148610 · DENTAL	5,994.40	9,800.00	-3,805.60	61.2%
0148615 · HEALTH & HOSPITALIZATION	102,015.22	136,200.00	-34,184.78	74.9%
0148616 · PENSION EXPENSE-NON-UNIFORM	10,678.06	19,177.00	-8,498.94	55.7%
0148617 · SOCIAL SECURITY/MEDICARE	59,884.79	87,996.56	-28,111.77	68.1%
0148620 · LTD/STD/LIFE	4,555.74	6,600.00	-2,044.26	69.0%
0148635 · CASUALTY & LIABILITY	54,232.56	75,145.00	-20,912.44	72.2%
0148636 · INSURANCE & BONDING	0.00	500.00	-500.00	0.0%
0148716 · PENSION ENTITLEMENT P.D.	65,096.00	65,096.00	0.00	100.0%
0148730 · PAYMENT IN LIEU OF BENEFITS	19,901.88	28,800.00	-8,898.12	69.1%
0148731 · MANAGEMENT/CONSULTING SERVICES	7,775.00	7,000.00	775.00	111.1%
0243410 · STREET LIGHTING MAINT	2,550.18	6,500.00	-3,949.82	39.2%
0243436 · ELECTRICITY 2434361	18,383.53	23,400.00	-5,016.47	78.6%
0345650 · FIRE COMPANY	40,000.00	40,000.00	0.00	100.0%
1840831 · ENGINEER 1840831	9,009.63	60,000.00	-50,990.37	15.0%
1843060 · CAPITAL CONSTRCTN	0.00	175,000.00	-175,000.00	0.0%
1945436 · ELECTRICITY 1945436	418.88	456.00	-37.12	91.9%
2347110 · G O BOND PRINCIPLE PMT	94,000.00	92,000.00	2,000.00	102.2%
2347210 · G.O. BOND INTEREST	15,754.50	22,800.00	-7,045.50	69.1%
3040934 · PANDEMIC RECOVERY GRANT	314,144.96	0.00	314,144.96	100.0%
3040935 · RACP STATE GRANT	916,511.97	350,000.00	566,511.97	261.9%
3040936 · TASA GRANT	11,598.50	770,000.00	-758,401.50	1.5%
3043030 · OTHER SERVICES & CHARGES	69,399.90	23,500.00	45,899.90	295.3%
3043060 · REVITALIZATION	13,104.00	13,000.00	104.00	100.8%
3043824 · INFRASTRUCTURE	20,204.94	550,000.00	-529,795.06	3.7%
3240170 · CAPITAL PURCHASE - ALL DEPT.	714.99	5,000.00	-4,285.01	14.3%
3241070 · CAPITAL PURCHASE P.D.	0.00	5,000.00	-5,000.00	0.0%
3243070 · CAPITAL PURCHASE	357,924.92	15,000.00	342,924.92	2,386.2%
3543222 · SNOW REMOVAL EXPENSES	5,876.89	7,200.00	-1,323.11	81.6%
3543225 · ATTACHMENT PARTS	180.56	1,500.00	-1,319.44	12.0%
3543325 · SIGNS	153.33	1,500.00	-1,346.67	10.2%
3543336 · ELECTRICITY/SIGNAL	126.22	250.00	-123.78	50.5%
3543337 · SIGNAL MAINTENANCE	0.00	5,500.00	-5,500.00	0.0%
3543725 · REPAIRS/MAINTENANCE SUPPLIES	4,170.31	1,500.00	2,670.31	278.0%
3543822 · OPERATING EXPENSE 3543822	0.00	1,500.00	-1,500.00	0.0%
3543826 · MINOR EQUIPMENT/SMALL TOOLS	0.00	1,500.00	-1,500.00	0.0%
3543835 · VEHICLE MAINTENANCE	597.48	1,500.00	-902.52	39.8%
3543837 · HIGHWAY MAINTENANCE PROJECTS	4,395.00	350,000.00	-345,605.00	1.3%
4145422 · OPERATING EXPENSE 41	366.74	1,500.00	-1,133.26	24.4%
4145424 · CULTURAL/REC SUPPLIES	13,133.66	15,000.00	-1,866.34	87.6%
4145537 · SHADE TREE- RECYCLING	0.00	1,000.00	-1,000.00	0.0%
4146124 · CONSERVATION	900.00	1,000.00	-100.00	90.0%

3:01 PM

10/24/25

Accrual Basis

Borough of North Wales
Profit & Loss Budget vs. Actual
January 1 through October 28, 2025

	Jan 1 - Oct 28, 25	Budget	\$ Over Budget	% of Budget
4245022 · OPERATING EXPENSE 42	1,327.49	300.00	1,027.49	442.5%
4345650 · LIBRARY	20,000.00	20,000.00	0.00	100.0%
4440924 · CEMETERY SUPPLIES	0.00	5,000.00	-5,000.00	0.0%
4440925 · CEMETERY MAINTENANCE	3,700.00	25,000.00	-21,300.00	14.8%
9548010 · MISCELLANEOUS BNK CHARGES	1,188.52	0.00	1,188.52	100.0%
Total Expense	3,384,863.15	4,712,113.84	-1,327,250.69	71.8%
Net Ordinary Income	-305,761.69	-577,086.19	271,324.50	53.0%
Net Income	-305,761.69	-577,086.19	271,324.50	53.0%

North Penn Volunteer Fire Company
141 South Main Street, North Wales, PA 19454
(215) 699-4337 • Matthew.Traynor@NorthPennFire.com

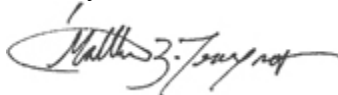
October 17, 2025

To whom it may concern,

Please accept this letter as official notice that the members listed below have passed the 75-point threshold for eligibility for the Earned Income tax rebate in the Borough of North Wales.

NAME	PROJECTED TOTAL POINTS	Address	North Wales Borough Resident?
Jeffrey Ameel	223	[REDACTED]	Yes
Katelyn Mathe	175	[REDACTED]	Yes
Steve McGlynn	161	[REDACTED]	Yes
Matthew Traynor	159	[REDACTED]	Yes
Shawn Hart	158	[REDACTED]	Yes
Michael Taylor	134	[REDACTED]	Yes
Alexander Wilson	120	[REDACTED]	Yes
William Clark	109	[REDACTED]	Yes
Colin Beatty	104	[REDACTED]	Yes
Ian Horowitz	93	[REDACTED]	Yes
Don Holt JR	82	[REDACTED]	Yes
William F Kaelin	75	[REDACTED]	Yes
McKlaya Clark	75	[REDACTED]	Yes

Sincerely,



Chief Matthew J Traynor
North Penn Vol. Fire Co.

141 South Main Street
North Wales, PA 19454
O: (215) 699-4337
F: (215) 699-1569
Matthew.Traynor@NorthPennFire.com



North Penn Vol. Fire Company
Protecting North Wales and
Lower Gwynedd Since 1888

BOROUGH OF NORTH WALES
 300 SCHOOL STREET
 NORTH WALES, PENNSYLVANIA

MEETING: October 14, 2025, 7:00 P.M., EST

CALL TO ORDER made by President Tarlecki

ROLL CALL:	Candace Anderson	Present
	Sherwin Collins	Present
	Anji Fazio	Absent
	Alexander Groce	Present
	Star Litle	Present
	Wendy McClure	Present
	Sally Neiderhiser	Present
	Mark Tarlecki	Present
	Sarah Whelan	Present
	Mayor Neil McDevitt	Present

Also, in attendance were John Filice, Borough Solicitor and Junior Council member, Violet Anderson.

Manager Hart led the Pledge of Allegiance.

Public Comment

None.

Consideration: Acceptance of Donation to NWPD from Tex Mex Connection

Manager Hart explained that Tex Mex has been running the Tex Mex 5k for over 30 years and has graciously donated each year to the North Wales Police Department. She further stated that although she was invited to the Council Meeting, Jane Keyes, the proprietor, was unable to attend. The donation is made to express gratitude to the North Wales Police Department for their continued support and dedication of the Tex Mex 5k Race, as well as their overall work they do to keep the North Wales community safe. Manager Hart also stated that the funds are typically allocated to community policing. Member McClure made a motion to Accept the Donation from Tex Mex. Member Neiderhiser seconded the motion. Motion passed 8 yes, 0 no.

Discussion/Presentation: 2026 Draft Budget Overview

President Tarlecki emphasized the importance of paying attention to the information being provided, as it is important to understand the main source of income for the Borough as well as all the expenses required to run the Community.

Manager Hart explained that the reports she was using show the profit and loss through October 10th, the 2025 Budget, and the percentage of the budget spent. The reports are typically provided

to Council, with them having an opportunity to ask any questions, at which point, Manager Hart would respond.

Manager Hart started by explaining that she utilizes the Assessed Valuation Report to determine estimated income, as it shows the parcels in the Borough with the values that the Board of Assessments has placed on properties. This provides the basis for the real estate taxes charged. Currently, North Wales has a 7-mil tax rate. Taxes make up most of the budget's income. Because of March and May, when there were no property transfers, there was a significant decrease in the amount of tax revenue, which cuts into the Borough's general operating budget and can only be made up with tax increases.

She continued to give a detailed overview of each budget item, explaining the source and how each item works within the Borough's operating structure. President Tarlecki pointed out that, on the revenue side, while there are different sources of income, these sources are minuscule, and only property taxes are within the Council's control, with the remainder being controlled by the Commonwealth or governmental agencies.

Manager Hart summarized some upcoming considerations that still need to be finalized for the budget, one of which she requested an immediate decision as to whether the Council wanted to move ahead – single-hauler trash removal. She indicated that a consultant would need to be hired to consider the change, given the large time investment needed to perform the assessment and analysis. She further stated that she would consult other municipalities for an estimated price. President Tarlecki stated it was something the Council would want to move ahead with since it has been discussed for many years without any resolution or decision being made.

Consideration: Acceptance of Resignation of Star Little, Planning Commission

President Tarlecki explained that only one member of Borough Council can be on the Planning Commission. Since he and Member Little serve as members, Member Little agreed to resign to adhere to the rule. Member McClure made a motion to Accept the resignation of Star Little from the Planning Commission. Member Neiderhiser seconded the motion. Motion passed 8 yes, 0 no.

Consideration: Approval of Minutes: September 23, 2025

Member McClure made a motion to Approve the Minutes of September 23, 2025. Member Collins seconded the motion.

Gregory D'Angelo of 915 E. Montgomery Avenue said the September 23 Minutes, pertaining to his comments about the September 14 candlelight vigil in Weingartner Park, contained an error and omissions. He pointed out that he did not say: "You missed an opportunity to show how you operate." (first paragraph) His statement was: "You missed a golden opportunity to show what you are." In other words, Mr. D'Angelo said, you would have been showing that you're open to meeting with and discussing matters with the "other side". Mr. D'Angelo said that there were two omissions from his reported comments. The Minutes omitted his welcoming remarks at the Vigil: "We are here on this somber occasion to remember and to pray for Charlie Kirk, and all those who have suffered violent deaths because of ideological differences, whether they were

political, or religious, or social.” He went on to say that it was critical for this to be included, in view of Member McClure’s comments, which she was entitled to make, that the event seemed to be all about Charlie Kirk. The other omission was his comments about Thomas Jefferson. At the Vigil, he had told the attendees that Jefferson spoke to the need for dialogue and, even, debate with those of different views “in order to get to the real truths. Otherwise, you’re just left with falsehoods.” He pointed out that Member Groce had even alluded to this in his comments about dialogue. Mr. D’Angelo also told Council that Dan Sokil’s article in The Reporter had correctly reported his comments. Manager Hart offered an alternative and efficient method for correcting the minutes. Rather than rewriting them for approval at the October 28 meeting, the corrections could be included in the October 14 Minutes. D’Angelo thought that this was a good solution, and Council agreed to have it done. D’Angelo also mentioned to Manager Hart that, while sometimes there is a need for meeting minutes to be concise, there are times when preserving our history for future reference necessitates more details.

Motion passed 8 yes, 0 no.

Old Business / Committee & Board Reports / Zoning Applications

There was no Old Business.

Under New Business, President Tarlecki stated that he met with the Executive Committee last Thursday about concerns residents had about the need for park permitting in light of the September 14th Vigil. The Executive Committee included Members Fazio and Groce, along with Vice-President McClure. They agreed to create a sub-committee to analyze the pros and cons of doing a permit program for parks. The committee will hold a non-public meeting and present a report on its findings no later than the last meeting of December. It was further agreed that the Council would review the report at the first meeting of the new year. President Tarlecki asked that any Council member interested in participating should reach out to him.

Member Whelan asked for clarification as to the purpose of the sub-committee since prior discussions cited First Amendment considerations as being an obstacle to requiring permitting for events in which a large group wishes to assemble peacefully. President Tarlecki responded that the sub-committee was not creating a policy to permit the parks, but rather assess the pros and cons, investigate what other municipalities are doing, and make a recommendation as to whether Council should move ahead to establish a process for park permitting. Additionally, he stated that several residents have raised this as an issue and that he felt it warranted further review and an answer provided to the public.

President Tarlecki also shared a phone chain document to be used in situations where all Council Members need to be informed on a moment's notice of a situation or issues of an emergency. Manager Hart asked that Council review the contact list for accuracy.

Erin Thompson, who works at the North Wales Area Library and stated that she thought permitting was a good idea from a communication standpoint.

Member Neiderhiser added that constituents have asked about the potential for a permit process and agreed that Council should be able to provide an informed response.

President Tarlecki stated that the Planning Commission met on October 1st and weighed in on the Subdivision and Land Development (SALDO) amendments. They will have a presentation on November 18th and then have a public hearing, after which Council will vote, and the ordinances will then be enacted sometime in 2026.

There were no other Committee reports or zoning applications.

Solicitor / Mayor / Council / Chief / Public Works / Manager

Solicitor Filice indicated that he did not have any updates and that there would not be an Executive Session.

The Mayor stated that it was his first meeting since July. He further explained that in early August, he went to Abington ER thinking he might have appendicitis and ended up having sepsis. He had major surgery to remove some of his intestines. Major surgeries with major incisions mean more opportunities for complications. Including the original visit, he has spent 31 days in the hospital across four separate visits.

He said he has been blessed with support from Borough Council members and staff, prayers from our faith-based communities, check-ins from all corners of North Wales, and some amazing neighbors who kept his family fed, visited them, and let their dogs out all those days. While his recovery still has a way to go, he is hopeful he is in the home stretch.

He also wanted to quickly remind the community that October is Fire Prevention Month. It's a great time to check our homes, our emergency plans, and our family's readiness to act on those. This year's theme focuses on lithium-ion batteries, and you can search "fire prevention week 2025" to find how you can keep your community safe.

He further stated that it may be a few weeks late, but he wanted to also recognize all the amazing volunteers, Borough staff, and partners for a wonderful North Wales Community Day. He couldn't move much, but what he saw was outstanding.

Lastly, he wanted to remind folks that we are less than a month from election day in Pennsylvania. In this political environment, there's no such thing as an "off" election. Residents can visit "<http://vote.pa.gov/>" to get more information about their registration, their polling place, etc.

Member Groce mentioned he represented the Borough at the PSAB's Conference. He had two major takeaways: 1) that North Wales Borough does not have the larger more significant problems that many other similar municipalities have; and 2) it was a tremendous coming together where everyone got along well and were able to share experiences.

Member Little thanked Manager Hart for including her in Montgomery County Planning Commission's tour along with Soul Brothers and Ten7. She explained that each business owner got to share their thoughts on the community before the Commission toured the North Wales Arts and Cultural Center.

Member Little also shared that Main Street North Wales is having their next Happy Hour at Ten7 on October 24th, 5-7 p.m. Additionally, they made T-shirts for the Phillies games. If anyone would like one, they can get one at Ten7 or Little's.

Manager Hart started her Management Update by saying that Public Works is working on fall activities, such as taking care of the leaves and preparing for the winter months.

She further shared that the Historic Commission has developed a QR code that links users to their historic blog with history relating to the Borough. The information is posted on the North Wales Borough web page as well as the Savvy Citizen application.

In addition, Upper Gwynedd Township has asked for the Borough's support to expand the Power Line Trail at Pennbrook Middle School. They are asking for a letter only and no funding.

SEPTA has announced that it will finally be replacing the Main St. Crossing and that the Borough is handling all the logistics that impact the Borough residents and their ability to drive through the Borough.

Manager Hart also mentioned she will circulate an updated budget to Council for their review.

Lastly, Manager Hart notified Council that the Montgomery County Planning Commission contract is up for renewal and will require additional costs. She has the contract with the summary information regarding the cost, which she will be sure to include in the next version of the Budget.

Adjournment

Member Whelan made a motion to adjourn. Member McClure seconded the motion. Motion passed 8 yes, 0 no. Meeting adjourned at 8:57 p.m.

Attest: _____

Christine A. Hart
Borough Manager

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
	0121500 · POLICE PENSION CONTRIBUTIONS 01			
10/14/2025		BOROUGH OF NORTH WALES POLICE PENS	SEPTEMBER 2025	1,693.64
	Total 0121500 · POLICE PENSION CONTRIBUTIONS 01			1,693.64
	0124810 · DEVELOPER ESCROW ACCOUNT			
	201-205 N. MAIN ST			
10/28/2025		BOWMAN CONSULTING GROUP	PROJECT #314536-01-001- MINOR SUBDIVISI	1,295.00
10/28/2025		BOWMAN CONSULTING GROUP	PROJECT #314536-01-001- MINOR SUBDIVISI	310.00
	Total 201-205 N. MAIN ST			1,605.00
	Total 0124810 · DEVELOPER ESCROW ACCOUNT			1,605.00
	0140042 · DUES, SUBSCRIPTIONS, TRAINING			
10/28/2025		PA STATE ASSOC OF BOROUGHES	YOUR ROLE S A MUNICIPAL SECRETARY/AM	75.00
	Total 0140042 · DUES, SUBSCRIPTIONS, TRAINING			75.00
	0140131 · PROFESSIONAL SERVICES			
10/28/2025		DANIEL NATALE	PAYMENT 3 OF 4 3RD QUARTER 2025	875.00
	Total 0140131 · PROFESSIONAL SERVICES			875.00
	0140142 · DUES, SUBSCRIPTIONS			
10/14/2025		CARDMEMBER SERVICE	DIGITAL VERSION OF THE REPORTER	18.00
	Total 0140142 · DUES, SUBSCRIPTIONS			18.00
	0140222 · OPERATING EXPENSE			
10/14/2025		CARDMEMBER SERVICE	CARBONITE- BACKUP	799.99
10/14/2025		CARDMEMBER SERVICE	PAYPAL-CLEVERBRIDGE INC	438.84
10/28/2025		ST JUDE CHILDREN'S HOSPITAL	DONATION IN HONOR OF JANICE MAE "JAN"	150.00
	Total 0140222 · OPERATING EXPENSE			1,388.83
	0140431 · SOLICITOR			
10/28/2025		RUBIN GLICKMAN STEINBERG & GIFFORD	SEPTEMBER 2025	3,000.00
10/28/2025		RUBIN GLICKMAN STEINBERG & GIFFORD	BOARD OF ASSESSMENT HEARING	300.00
	Total 0140431 · SOLICITOR			3,300.00
	0140621 · OFFICE SUPPLIES			
10/14/2025		CARDMEMBER SERVICE	MY NAME PLATES- STAR LITTLE	18.44
10/28/2025		OFFICE BASICS	INDEX EXACT WHITE 8.5X11	11.79
10/28/2025		OFFICE BASICS	COPY PAPER ADMIN	47.00

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
	Total 0140621 · OFFICE SUPPLIES			77.23
	0140632 · COMMUNICATIONS-PHONE			
10/14/2025		VERIZON BUSINESS SERVICES S0325700	SEPTEMBER 2025 ADMIN	64.24
	Total 0140632 · COMMUNICATIONS-PHONE			64.24
	0140637 · REPAIRS/MAINTENANCE			
10/28/2025		CURT LOCKMAN	PIANO TUNING ON 10/7/2025 @ 125 N MAIN	150.00
	Total 0140637 · REPAIRS/MAINTENANCE			150.00
	0140831 · ENGINEER 1408313			
10/28/2025		BOWMAN CONSULTING GROUP	PROJECT 311394-01-002 MS4 2024-2025 ANN	6,298.00
	Total 0140831 · ENGINEER 1408313			6,298.00
	0140922 · OPERATING EXP			
10/14/2025		VERIZON 958096967000126	SEPTEMBER 2025	188.08
	Total 0140922 · OPERATING EXP			188.08
	0140923 · HEATING FUEL 1409230			
10/14/2025		PECO 0494503000 BORO HALL	SEPTEMBER 2025 300 SCHOOL STREET	41.11
	Total 0140923 · HEATING FUEL 1409230			41.11
	0140935 · JANITORIAL			
10/28/2025		AMAZON CAPITAL SERVICES, INC.	C-FOLD PAPER TOWELS	38.04
10/28/2025		AMAZON CAPITAL SERVICES, INC.	MULTI FOLD PAPER TOWELS, CAN LINERS	80.02
10/28/2025		FOREST CLEANING SERVICE	SEPTEMBER 2025 CLEANING 125 N MAIN ST	87.00
	Total 0140935 · JANITORIAL			205.06
	0140936 · ELECTRICITY 1409361			
10/14/2025		PECO 7424338000 125 N MAIN	ELECTRICITY SEPTEMBER 2025	272.91
10/14/2025		PECO 0064701111 (EVENT ST POWER)	SEPTEMBER 2025 ELECTRICITY 100 N MAIN	45.46
10/14/2025		PECO 6704247000 BORO HALL	SEPTEMBER 2025 ELECTRICITY 300 SCHOO	610.15
	Total 0140936 · ELECTRICITY 1409361			928.52
	0140937 · REPAIRS/MAINTENANCE SERVICES			
10/28/2025		METRO ELEVATOR CO.	3RD QUARTER MAINTENANCE ELEVATOR	100.00
	Total 0140937 · REPAIRS/MAINTENANCE SERVICES			100.00
	0140938 · LEASE			
10/14/2025		VECTOR SECURITY	MONITORING SERVICES 10/07/2025-11/06/20	69.55

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
10/28/2025		KEYSTONE FIRE PROTECTION CO.	10/1/2025-09/30/2026 MONITORING BORO HA	384.00
	Total 0140938 · LEASE			453.55
	0140945 · CONTRACTED SRVICES			
10/14/2025		U. S. BANK EQUIPMENT FINANCE	SEPTEMBER 2025	237.47
	Total 0140945 · CONTRACTED SRVICES			237.47
	0141021 · OFFICE SUPPLIES, POLICE			
10/28/2025		OFFICE BASICS	COPY PAPER PD	47.00
	Total 0141021 · OFFICE SUPPLIES, POLICE			47.00
	0141023 · COMMUNITY POLICING			
10/14/2025		CARDMEMBER SERVICE	ALL ABOUT CATERING- PD ROUND TABLE	633.50
10/14/2025		CARDMEMBER SERVICE	ORIENTAL TRADING- PD GIVEAWAYS	125.90
10/14/2025		CARDMEMBER SERVICE	REDNERS-PD WATER BOTTLES	30.00
10/14/2025		CARDMEMBER SERVICE	NORTH WALES BEVERAGE- PD- ICE	15.98
10/14/2025		CARDMEMBER SERVICE	BLUE BELL INN- PD EVENT	395.34
10/14/2025		CARDMEMBER SERVICE	PROMOTIONS NOW- PD GIVAWAYS	719.20
	Total 0141023 · COMMUNITY POLICING			1,919.92
	0141024 · OPERATING EXPENSE POLICE			
10/14/2025		CARDMEMBER SERVICE	NJ E-Z PASS- PD	25.00
	Total 0141024 · OPERATING EXPENSE POLICE			25.00
	0141026 · MINOR EQUIPMENT, POLICE			
10/14/2025		CARDMEMBER SERVICE	HOME DEPOT- PD LOCKS & CABLES	21.15
	Total 0141026 · MINOR EQUIPMENT, POLICE			21.15
	0141032 · COMMUNICATIONS-PHONE/RADIO			
10/14/2025		VERIZON BUSINESS SERVICES S0325700	SEPTEMBER 2025 PD	114.20
10/14/2025		VERIZON WIRELESS	SEPTEMBER 2025 NWPD	159.58
	Total 0141032 · COMMUNICATIONS-PHONE/RADIO			273.78
	0141033 · GASOLINE, POLICE			
10/14/2025		U. S. BANK VOYAGER FLEET SYSTEMS INC.	SEPTEMBER 2025 PD	963.40
	Total 0141033 · GASOLINE, POLICE			963.40
	0141034 · PRINTING, POLICE			
10/28/2025		ASSOCIATED IMAGING SOLUTIONS	COLOR COPIES FOR PD	56.27

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
	Total 0141034 · PRINTING, POLICE			56.27
	0141045 · CONTRACTED SERVICES			
10/28/2025		ASPIRANT CONSULTING GROUP	ANNUAL ACCREDITATION MAINTENANCE SE	12,500.00
	Total 0141045 · CONTRACTED SERVICES			12,500.00
	0141313 · INSPECTION-CONTRACTED SERVICES			
10/28/2025		KEYSTONE MUNICIPAL SERVICES, INC	RESIDENTIAL INSPECTIONS- RANDY	1,312.50
	Total 0141313 · INSPECTION-CONTRACTED SERVICES			1,312.50
	0141434 · SOLICITOR ZONING			
10/28/2025		HAMBURG RUBIN MULLIN MAXWELL & LUPIN	405 E WALNUT STREET	287.50
10/28/2025		HAMBURG RUBIN MULLIN MAXWELL & LUPIN	501 E WALNUT STREET	462.50
	Total 0141434 · SOLICITOR ZONING			750.00
	0141439 · COURT STENOGRAPHER			
10/28/2025		ALL POINTS REPORTING	STENO FEES 25-03- 405 SCHOOL ST-PATEL	112.50
10/28/2025		ALL POINTS REPORTING	STENO FEES 25-02-501 E WALNUT ST-FLYNI	337.50
	Total 0141439 · COURT STENOGRAPHER			450.00
	0143020 · SUPPLIES 1430200			
10/14/2025		U. S. BANK VOYAGER FLEET SYSTEMS INC.	SEPTEMBER 2025 PW	453.84
10/28/2025		AMAZON CAPITAL SERVICES, INC.	BLACK 55- 60 GAL HEAVY DUTY TRASH BAG	95.00
	Total 0143020 · SUPPLIES 1430200			548.84
	0143023 · HEATING FUEL 1430230			
10/14/2025		PECO 5095066111 PW GARAGE	SEPTEMBER 2025 409 ELM AVENUE	36.38
	Total 0143023 · HEATING FUEL 1430230			36.38
	0143321 · COMMUNICATIONS-PHONE 143			
10/14/2025		VERIZON BUSINESS SERVICES S0325700	SEPTEMBER 2025 PW	25.49
10/14/2025		VERIZON WIRELESS	SEPTEMBER 2025 PW	39.55
10/14/2025		PA ONE CALL SYSTEM INC.	SEPTEMBER 2025	10.27
	Total 0143321 · COMMUNICATIONS-PHONE 143			75.31
	0143361 · ELECTRICITY 1430361			
10/14/2025		PECO 7381081222 (PW - 599 ELM)	ELECTRICITY 599 ELM AVENUE, SEWER PL	53.30
10/14/2025		PECO 9264996000 PW GARAGE	SEPTEMBER 2025 ELECTRICITY 409 ELM AV	62.70
	Total 0143361 · ELECTRICITY 1430361			116.00

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
	0143365 · SOLID WASTE DISPOSAL			
10/28/2025		REPUBLIC SERVICES #320	DUMPSTER SERVICES	293.27
	Total 0143365 · SOLID WASTE DISPOSAL			<u>293.27</u>
	0145420 · SUPPLIES-PARK			
10/28/2025		FISHERS ACE HARDWARE & RENTAL	WASP AND HORNET SPRAY	16.77
10/28/2025		JON LEIGHT	REIMBURSEMENT FOR PIANO COVER 125 N	299.00
10/28/2025		PET WASTE ELIMINATOR	3 OF 4 PAYMENTS	200.00
10/28/2025		KATHY SCHWEITZER	MUMS FOR PLANTERS	65.00
	Total 0145420 · SUPPLIES-PARK			<u>580.77</u>
	0145436 · ELECTRICITY 1459461			
10/14/2025		PECO 3891466000 WALNUT SQUARE	SEPTEMBER 2025 ELECTRICITY WALNUT SC	47.82
10/14/2025		PECO 6654362000 HESS PARK	SEPTEMBER 2025 ELECTRICITY HESS PARK	45.89
	Total 0145436 · ELECTRICITY 1459461			<u>93.71</u>
	0145445 · CONTRACTED SERVICES 14			
10/28/2025		BLASE LANDSCAPING	SEPTEMBER MOWING 9TH STREET & WEIN	1,100.00
10/28/2025		STRAUB TREE EXPERTS	TREE REMOVAL- MONTGOMERY AVE POCKI	3,700.00
10/28/2025		TRADITIONAL SIGN COMPANY	PUMPKIN CRAWL 2025 LAWN SIGNS WITH S	150.00
	Total 0145445 · CONTRACTED SERVICES 14			<u>4,950.00</u>
	0148020 · MISCELLANEOUS EXPENSES			
10/28/2025		NOR-GWYN POOL COMMISSION	2025 POOL SECURITY CLEARANCES/ SPLIT	455.60
	Total 0148020 · MISCELLANEOUS EXPENSES			<u>455.60</u>
	0148410 · FIRE CO WORKERS COMP			
10/14/2025		SWIF - STATE WORKERS' INSURANCE FUNE	SWIF PAYMENT 1 OF 10	1,190.00
	Total 0148410 · FIRE CO WORKERS COMP			<u>1,190.00</u>
	0148516 · UNEMPLOYMENT COMP			
10/14/2025		PSAB U/C PLAN	3RD Q 2025 UC COMP	519.41
	Total 0148516 · UNEMPLOYMENT COMP			<u>519.41</u>
	0148610 · DENTAL			
10/14/2025		DELAWARE VALLEY HEALTH TRUST	DENTAL	599.44
	Total 0148610 · DENTAL			<u>599.44</u>
	0148615 · HEALTH & HOSPITALIZATION			

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
10/14/2025		DELAWARE VALLEY HEALTH TRUST	HEALTH & HOSPITALIZATION	10,711.07
10/14/2025		DELAWARE VALLEY HEALTH TRUST	MULTI-TRUST DISCOUNT	-339.31
	Total 0148615 · HEALTH & HOSPITALIZATION			10,371.76
	0148616 · PENSION EXPENSE-NON-UNIFORM			
10/14/2025		PENNSYLVANIA MUNICIPAL RETIREMENT S' SEPTEMBER 2025		622.89
	Total 0148616 · PENSION EXPENSE-NON-UNIFORM			622.89
	0148620 · LTD/STD/LIFE			
10/28/2025		STANDARD INSURANCE COMPANY	NOVEMBER 2025	428.43
	Total 0148620 · LTD/STD/LIFE			428.43
	0148716 · PENSION ENTITLEMENT P.D.			
10/14/2025		BOROUGH OF NORTH WALES POLICE PENS 2025 POLICE PENSION MMO - EMPLOYER CO		65,096.00
	Total 0148716 · PENSION ENTITLEMENT P.D.			65,096.00
	0148731 · MANAGEMENT/CONSULTING SERVICES			
10/28/2025		DUDA ACTUARIAL CONSULTING INC	2026 RETAINER FOR POLICE PENSION PLAN	2,775.00
	Total 0148731 · MANAGEMENT/CONSULTING SERVICES			2,775.00
	0243410 · STREET LIGHTING MAINT			
10/28/2025		ARMOUR & SONS ELECTRIC	REPLACE DRIVER ON S 5TH BTWN E MONT	2,550.18
	Total 0243410 · STREET LIGHTING MAINT			2,550.18
	0243436 · ELECTRICITY 2434361			
10/14/2025		PECO 7753007000 STREET LIGHTS	SEPTEMBER 2025 STREET LIGHTS	2,031.03
	Total 0243436 · ELECTRICITY 2434361			2,031.03
	1945436 · ELECTRICITY 1945436			
10/14/2025		PECO 1733628000 WEINGARTNER	SEPTEMBER 2025 ELECTRICITY WEINGARTI	46.34
	Total 1945436 · ELECTRICITY 1945436			46.34
	2347210 · G.O. BOND INTEREST			
10/27/2025		WELLS FARGO	GOB 2020 SERIES INTEREST PAYMENT	1,575.45
	Total 2347210 · G.O. BOND INTEREST			1,575.45
	3043030 · OTHER SERVICES & CHARGES			
10/28/2025		WETLAND STUDIES & SOLUTIONS INC	9TH STREET PARK STREAM RESTORATION	3,947.50
	Total 3043030 · OTHER SERVICES & CHARGES			3,947.50
	3043060 · REVITALIZATION			

Borough of North Wales
BILLS LIST
 October 2025

Date	Account	Name	Memo	Amount
10/28/2025		MCPC	MCPC CONTRACT #656 - PLANNING ASSIST/	6,552.00
	Total 3043060 · REVITALIZATION			6,552.00
	3543336 · ELECTRICITY/SIGNAL			
10/14/2025		PECO 4283868000 RED LIGHT	SEPTEMBER 2025 TRAFFIC SIGNAL	14.38
	Total 3543336 · ELECTRICITY/SIGNAL			14.38
	3543725 · REPAIRS/MAINTENANCE SUPPLIES			
10/28/2025		PMG SM HOLDINGS, LLC	TACK -IT JOINT SEALANT AND TACK	291.88
	Total 3543725 · REPAIRS/MAINTENANCE SUPPLIES			291.88
	4145422 · OPERATING EXPENSE 41			
10/28/2025		REPUBLIC SERVICES #320	CARDBOARD DUMPSTER PU 4/9/2025	121.37
	Total 4145422 · OPERATING EXPENSE 41			121.37
	4245022 · OPERATING EXPENSE 42			
10/28/2025		MICHAEL SZILAGYI	3 YRS OF WORD PRESS NWHC (GO DADDY)	827.64
	Total 4245022 · OPERATING EXPENSE 42			827.64
				142,728.33

HISTORICAL ARCHITECTURAL REVIEW BOARD

Record of Action

Date: 10.17.25

Application: 1025-01

Application Date: 10.15.2025

Applicant/Property Owner: Katie Keyes
Property Address: 113 S. Third St.
North Wales, PA

Block/Unit #:

Request: Replacing the roof, cornice capping and installing new siding that resembles wood shingles.

Submittals: Application, proposal and 1 photo.

• • •

HARB Meeting: October 15, 2025

In Attendance: Mr. Charlie Guttenplan
Mr. Joe Del Ciotto
Ms. Pam Romeo
Mr. James Schiele
Mr. Ray Tschoepe

Applicant in Attendance: Mr. Anthony Bevilaqua, contractor for the applicant

Action: **Approved as presented**

Findings of Fact: The building, although located within the historic district, is not a contributing building, since it has been altered significantly. The proposed installations however, are consistent with traditional design used in the "district."

Recommendation to Council: **Issue certificate of Appropriateness**

Respectfully submitted,



HARB Chairman/Vice-chairman

North Wales

Historical Architectural Review Board

COFA Requirements / Additions / Alterations:

Application No. 1025-01

Date: 10-15-2025

Applicant:

KATIE KEYES / TONY JOHN BEVILAGUA

Property:

~~(201 E. WALNUT ST.)~~ 113 S. THIRD ST.

I, _____

TONY BEVILAGUA

(please print)

understand the requirement(s) set forth by the HARB that are not specifically stated on the application, but rather are listed below. I understand that these requirements should be followed in order to be in compliance with the Historic District Ordinance of North Wales Borough

Tony Bevilagua (Signature)

_____ (Signature)

Requirements and qualifications:

APPROVE AS PRESENTED

North Wales

HISTORICAL ARCHITECTURAL REVIEW BOARD

Record of Action

Date: 10.17.25

Application: 1025-03

Application Date: 10.09.2025

Applicant/Property Owner: James and Linda Schiele
Property Address: 307 East Montgomery Ave.
North Wales, PA

Block/Unit #:

Request: Replacing the existing fiberglass/asphalt shingle roof with a new similar roof. No ancillary (cornice) work is planned.

Submittals: Application.

• • •

HARB Meeting: October 15, 2025

In Attendance: Mr. Charlie Guttenplan
Mr. Joe Del Ciotto
Ms. Pam Romeo
Mr. James Schiele (recused for this application)
Mr. Ray Tschoepe

Applicant in Attendance: Mr. James Schiele

Action: **Approved as presented**

Findings of Fact: The Sec. of the Interior guidelines recommend, "Replacing in-kind an entire feature of the roof that is too deteriorated to repair... If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered."

Recommendation to Council: Issue certificate of Appropriateness

Respectfully submitted,



HARB Chairman/Vice-chairman

North Wales

Historical Architectural Review Board

COFA Requirements / Additions / Alterations:

Application No. 1025-03

Date: 10-15-2025

Applicant: JAMES SCHIELE

Property: 307 E. MONTGOMERY AVE

I, JAMES B SCHIELE
(please print)

understand the requirement(s) set forth by the HARB that are not specifically stated on the application, but rather are listed below. I understand that these requirements should be followed in order to be in compliance with the Historic District Ordinance of North Wales Borough

James B Schiele (Signature)

_____ (Signature)

Requirements and qualifications:

APPROVE AS PRESENTED

HISTORICAL ARCHITECTURAL REVIEW BOARD

Record of Action

Date: 10.17.25

Application: 1025-02

Application Date: 09.29.2025

Applicant/Property Owner: Tarun Patel
Property Address: 405 School St.
North Wales, PA

Block/Unit #:

Request: Replacing the porch (incl. columns balustrade, and flooring) as well as the windows and the shingles on the Mansard portion of the building.

Submittals: Application, printed Powerpoint presentation with photos to summarize the proposed work.

• • •

HARB Meeting: October 15, 2025

In Attendance: Mr. Charlie Guttenplan
Mr. Joe Del Ciotto
Ms. Pam Romeo
Mr. James Schiele
Mr. Ray Tschoepe

Applicant in Attendance: Mr. Tarun Patel and an associate.

Action: **Approve with qualifications**

Qualifications:

1. The porch flooring, whether wood, synthetic or composite should be Tongue and Groove flooring oriented at 90° to the front wall.
2. The porch apron may be wood, synthetic (Azek) or composite (Boral or similar)
3. The replacement columns can be wood or vinyl to match the neighbor's "turned" columns.
4. The balustrade can consist of turned or square profile balusters since no originals remain. Wood or synthetic.
5. New 1/1 windows (presented at the meeting) that match the originals can be installed.
6. Capping windows with aluminum or vinyl is not permitted on the street facing façade. Lintels, jambs and sills should simply be painted.

7. The Mansard roof, currently covered with siding can be replaced with fiberglass shingles to match the neighboring attached twin.
8. Finally the gutters on the roof should be ½ round.

Findings of Fact:

The Secretary of the Interior's guidelines recommend that ... "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

Recommendation to Council: Issue certificate of Appropriateness

Respectfully submitted,



HARB Chairman/Vice-chairman

North Wales

Historical Architectural Review Board

COFA Requirements / Additions / Alterations:

Application No. 1025-02

Date: 10-15-2025

Applicant:

TARUN PATEL

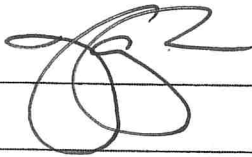
Property:

405 SCHOOL ST.

I, Tarun Patel

(please print)

understand the requirement(s) set forth by the HARB that are not specifically stated on the application, but rather are listed below. I understand that these requirements should be followed in order to be in compliance with the Historic District Ordinance of North Wales Borough

 (Signature)

_____ (Signature)

Requirements and qualifications:

- ① FLOORING (PORCH) T₁/G SYNTHETIC OR COMPOSITE
- ② APRON/FASCIA - SYNTHETIC OR COMPOSITE
- ③ WINDOWS - INSTALL AS PRESENTED
- ④ MANSARD ROOF - REPLACE EXISTING SIDING WITH SHINGLES TO MATCH NEIGHBORING HOUSE
- ⑤ REPLACE COLUMNS WITH VINYL "TURNED" COLUMNS TO PATCH THE NEIGHBORS
- ⑥ INSTALL VINYL BALUSTRADE TURNED OR SQUARE
- ⑦ NO CAPPING OF WINDOWS ON STREET FACING FACADE.
- ⑧ GUTTERS (ALL) ON THE FRONT FACE SHOULD BE 1/2 ROUND.

DOCUMENT 001113 - ADVERTISEMENT

Sealed Bids for the Dodsworth Run at Ninth Street Park Stream Restoration will be received on PennBid (www.PennBid.net) only until 12:00 pm, prevailing time, Wednesday, January 14, 2026. Bids will be deemed opened following the due time and the bid results will be available for viewing at the PennBid website. Bids received after Bid opening will not be accepted.

Drawings, Specifications and other documents constituting the Bidding and Contract Documents are online, without charge, at www.PennBid.net. Reproduction of the Bidding and Contract Documents, or their placement on web sites other than PennBid, is not permitted. All questions must be submitted through PennBid.

Bids shall be accompanied by Bid Security in the form of a certified check, cash, bank cashier's check, treasurer's check or Bid Bond in the form provided in the Bidding Documents, with corporate surety satisfactory to the Owner, in an amount not less than 10% of the Base Bid, naming as Obligee, North Wales Borough. Bid security shall be forfeited as liquidated damages should the bidder default in execution of the contract within 180 days after award of same. Bids may not be withdrawn within 60 days after bid opening.

The Owner shall award the contract to the lowest responsible and responsive bidder or reject all bids within sixty (60) days from the date of the bid opening and all bids shall remain open for such time; provided, however, if the award is delayed by the required approval of another governmental agency, the sale of bonds, easement acquisition or the award of a grant, the Owner shall reject all bids or award the contract to the lowest responsible and responsive bidder within one-hundred twenty (120) days from the date of the bid opening.

Notice is hereby given to bidders that this project is subject to the provisions of the Pennsylvania Prevailing Wage Act approved August 15, 1961 (Act No. 442, P.L. 987) as amended.

A Mandatory Pre-Bid Meeting will be held at the North Wales Borough Office (300 School Street, North Wales, PA 19454), on **Wednesday, December 17, 2025 at 10:00 am**. A visit to the project site will occur immediately after the pre-bid meeting. All prospective bidders are required to attend this meeting.

North Wales Borough hereby reserves the right, which is understood and agreed to by all Bidders, to reject any or all Bids and to waive any omissions, errors, or irregularities in any Bid.

NORTH WALES BOROUGH

CHRISTINE HART, BOROUGH MANAGER

END OF DOCUMENT 001113

North Wales Borough
Community Planning Assistance
Contract Cost Proposals
January 1, 2026 - December 31, 2028

Description			TOTAL CONTRACT COST	MUNICIPAL SHARE 50%
<u>Year One</u>				
		<u>RATE</u>		
2.5	Planner-Days / Month	\$924 / Planner Day	\$27,720.00	\$13,860.00
12	Night Meetings* / Year		\$5,544.00	\$2,772.00
YEAR ONE TOTAL			\$33,264.00	\$16,632.00
<u>Year Two</u>				
		<u>RATE</u>		
2.5	Planner-Days / Month	\$956 / Planner Day	\$28,680.00	\$14,340.00
12	Night Meetings* / Year		\$5,736.00	\$2,868.00
YEAR TWO TOTAL			\$34,416.00	\$17,208.00
<u>Year Three</u>				
		<u>RATE</u>		
2.5	Planner-Days / Month	\$989 / Planner Day	\$29,670.00	\$14,835.00
12	Night Meetings* / Year		\$5,934.00	\$2,967.00
YEAR THREE TOTAL			\$35,604.00	\$17,802.00
Total Contract Costs (Years 1-3)			\$103,284.00	\$51,642.00

* One Night Meeting = half of a Planner Day

Summary of Invoices			Municipal Share 50 %
Year One			
Invoice 1	April 2026		\$8,316.00
Invoice 2	October 2026		\$8,316.00
Year Two			
Invoice 3	April 2027		\$8,604.00
Invoice 4	October 2027		\$8,604.00
Year Three			
Invoice 5	April 2028		\$8,901.00
Invoice 6	October 2028		\$8,901.00
			\$51,642.00

**PLANNING ASSISTANCE CONTRACT
BETWEEN COMMISSIONERS OF MONTGOMERY COUNTY
AND NORTH WALES BOROUGH**

THIS CONTRACT made the first day of January 2026, between Commissioners of Montgomery County (herein called County) and North Wales Borough of Montgomery County, Pennsylvania (herein called Municipality).

WITNESSETH THAT:

WHEREAS, County has created the Montgomery County Planning Commission (herein called MCPC), and

WHEREAS, Resolution 70-3, dated March 11, 1970, established policies for local planning assistance, a cost sharing formula and a schedule of fees and charges by which the services of MCPC's staff was offered to assist the 62 municipalities in the county, and

WHEREAS, the Municipality has requested the MCPC to provide planning assistance under the terms specified herein, and

WHEREAS, the County of Montgomery, acting through the MCPC proposes to render assistance to the Municipality in the form of technical services, pursuant to Pennsylvania Municipalities Planning Code, Act 247, as amended.

NOW THEREFORE, in consideration of the mutual promises hereafter made, the parties hereto, intending to be legally bound under the Uniform Written Obligations Act of the Commonwealth of Pennsylvania, do hereby agree that:

A. MCPC Assistance

1. The MCPC will assign one or more professional planners, and supporting staff, to meet the categories outlined in Exhibit B.

B. Services of Municipality

1. Officials, employees, staff and members of the planning commission of the Municipality will cooperate with MCPC in the discharge of its responsibilities hereunder.
2. All pertinent Municipality records and data shall be made available for the use of the MCPC.

C. Schedule of Time and Compensation

1. The established and agreed total cost is **\$103,284**.

2. The compensation is subject to Resolution 25-9.1, Exhibit A.
3. This contract shall become effective on January 1, 2026 and shall terminate on December 31, 2028.
4. Municipality's payment to MCPC shall not exceed fifty percent (50%) of the total cost as set forth in C.1 above. This includes any federal or state optional funding arrangements equal to the municipal share set forth in Exhibit C.
5. The total cost of the printing and publication of Major Products (Reports and Maps) shall be negotiated on a case-by-case basis.
6. Municipality shall pay MCPC on the following basis:

<u>Date</u>	<u>Amount</u>
April 2026	\$8,316.00
October 2026	\$8,316.00
April 2027	\$8,604.00
October 2027	\$8,604.00
April 2028	\$8,901.00
October 2028	\$8,901.00

D. Miscellaneous

1. Either party may terminate this contract by giving the other at least sixty (60) days written notice thereof, and a pro rata adjustment shall be made based on the compilation of costs incurred and services performed by the MCPC. In the event of cessation of services by the MCPC prior to the termination date in the contract, the MCPC shall be paid for costs and services to the date of such cessation and the MCPC and the County of Montgomery shall, in no event, be liable to Municipality for breach of this contract due to cessation of its services.
2. The scope of work to be done under this contract shall be subject to modifications or supplements upon the written agreement of the duly authorized representatives of the contracting parties. It is the understanding of all parties to this contract that no modification of the program shall be made that would change the total cost unless such changes, including any increase or decrease in the amount of the MCPC's compensation, are mutually agreed upon by and between the parties hereto. Such changes will be accomplished as follows: a) any decrease in the amount of MCPC's compensation shall be incorporated in written amendments to this contract; b) any increase in the amount of MCPC's compensation in excess of \$1500 (i.e. \$3000 total change) shall be incorporated in written amendments to this contract; c) any increase in the amount of MCPC's compensation less than \$1500 (i.e. \$3000 total change) shall be by a letter of intent of a purchase of service (said letter of intent shall be signed by the authorized representative of the municipality and by the Director of the MCPC); and d) any substitution or modification of the work items in B. of Exhibit B, not involving a change in compensation, shall be by a letter of intent as set forth in c), herein.

3. The costs of any increases in the scope of work agreed to by the contracting parties in accordance with D.2 shall be calculated on the basis of the per diem rates prevailing at the time said increase is negotiated. Any increase involving the commitment of additional monthly planner-days shall be subject to the availability of said staff time.

MUNICIPAL GOVERNING BODY

COMMISSIONERS OF
MONTGOMERY COUNTY

By: _____
President, Borough Council

By: _____
Chairperson

Attest: _____
Borough Manager

Attest: _____
County

Authorized by motion or resolution of Municipality. Approved _____, 20____.

Authorized by Resolution # _____ of County. Approved _____, 20____.

EXHIBIT A
MONTGOMERY COUNTY PLANNING COMMISSION
FEE SCHEDULE
for
COMMUNITY PLANNING ASSISTANCE CONTRACTS

MCPC RESOLUTION #25-9.1

The fee schedule breakdown below is based on the “planner-day” which includes planner time, staff coordination and management, all support services, and incidental expenses.

A. Planning Assistance Contract Program 2026-2028 Graduated Fee Schedule

For the first year of a three-year contract:	Per Planner-Day = \$ 924.00
For the second year of a three-year contract:	Per Planner-Day = \$ 956.00
For the third year of a three-year contract:	Per Planner-Day = \$ 989.00

B. Planning Assistance Contract Program 2026-2028 Flat Fee Schedule

Per year for a three-year contract:	Per Planner-Day = \$ 956.00
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C. Letter of Intent Contract Program/Short-Term Contracts and Subpoenaed Appearances:

Per Planner-Day = \$1,024.00

The share of municipal governmental financial commitment shall be 50 percent of the contract's total cost as shown in Exhibit C.

A minimum number of night meetings will be specified in each contract dependent upon the work program, and they shall be calculated at the rate of 2-night meetings being the equivalent of one planner-day.

EXHIBIT B
CATEGORIES OF ASSISTANCE

A. General Services

1. Meeting Attendance. A professional planner(s) will be assigned to the Municipality. The planner(s) will attend meetings of the Borough Council as requested to review work being conducted under the planning assistance contract and to keep abreast of current planning issues and concerns to the Municipality. The planner(s) will attend other meetings, such as public hearings, Borough Council meetings, Zoning Hearing Board meetings, meetings of other appointed agencies and boards of the Municipality, joint meetings of some or all such agencies and boards, and citizens' group meetings at which his or her attendance is appropriate (with the concurrence of the Borough Council). Attendance of multiple night meetings per year has been included in the contract. However, any adjustments to the number of meetings actually attended, either up or down, will be traded off with planner-days of service provided, at the rate of one-half (½) planner-day for each meeting adjusted.
2. Act 247 Reviews. During the course of the contract, the assigned planner(s) will be responsible for all reviews (subdivision, land developments, and ordinance amendments) required by Act 247, "The Pennsylvania Municipalities Planning Code." Zoning Hearing Board reviews shall be prepared as necessary. MCPC will provide in-depth assistance in the review of all significant land developments, including special meeting attendance, development of alternative site designs, detailed recommendations for landscaping and the drafting of applicable amendments for zoning and land development regulations.

- B. Flexible Assistance. We will continue to provide flexible assistance as directed by the borough for special projects, reviews, and meeting attendance, with the understanding that, depending on the scale of the project, flexible assistance substantially exceeding contracted time may require an addendum to the contract or may defer the projects listed above.

C. Structured Assistance

1. North Wales Borough 2040 Implementation. MCPC will prepare, at the direction of Borough Council, any planning studies, analyses, zoning or subdivision and land development ordinance revisions, or similar implementation work including any necessary design work and grant writing.

EXHIBIT C
CONTRACT COSTS AND MUNICIPAL SHARE
January 1, 2026 – December 31, 2028

		<u>Total Cost</u>	<u>Municipal Share (50%)</u>
<u>Year One</u>			
2.5	Planner Days/Month @ \$924/day	\$ 27,720.00	\$13,860.00
12	Night Meetings at a rate of one-half (1/2) planner-day per night meeting	<u>\$ 5,544.00</u>	<u>\$ 2,772.00</u>
<i>Year One Total</i>		\$ 33,264.00	\$16,632.00
 <u>Year Two</u>			
2.5	Planner Days/Month @ \$956/day	\$ 28,680.00	\$14,340.00
12	Night Meetings at a rate of one-half (1/2) planner-day per night meeting	<u>\$ 5,736.00</u>	<u>\$ 2,868.00</u>
<i>Year Two Total</i>		\$ 34,416.00	\$17,208.00
 <u>Year Three</u>			
2.5	Planner Days/Month @ \$989/day	\$ 29,670.00	\$14,835.00
12	Night Meetings at a rate of one-half (1/2) planner-day per night meeting	<u>\$ 5,934.00</u>	<u>\$ 2,967.00</u>
<i>Year Three Total</i>		\$ 35,604.00	\$17,802.00
 <i>Total Contract Costs (Years 1-3)</i>		 <u>\$103,284.00</u>	 <u>\$51,642.00</u>

SUMMARY OF INVOICES

<u>Year One</u>	
April 2026 (Invoice 1)	\$8,316.00
October 2026 (Invoice 2)	\$8,316.00
 <u>Year Two</u>	
April 2027 (Invoice 3)	\$8,604.00
October 2027 (Invoice 4)	\$8,604.00
 <u>Year Three</u>	
April 2028 (Invoice 5)	\$8,901.00
October 2028 (Invoice 6)	\$8,901.00